

**AGENDA**  
**MONTGOMERY TOWNSHIP**  
**BOARD OF SUPERVISORS**  
**SEPTEMBER 11, 2023**  
**7:00 P.M.**

[www.montgomerytwp.org](http://www.montgomerytwp.org)

Tanya C. Bamford Candyce Fluehr Chimera Annette M. Long Beth A. Staab Audrey R. Ware  Carolyn McCreary Township Manager
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1. Call Meeting to Order
2. Pledge of Allegiance
3. Public Comment
4. Announcement of Executive Session
5. Consent Agenda:
  - Minutes of August 28, 2023 Meeting
  - Payment of the September 11, 2023 Bills
  - Escrow Release #4 – The Meadows at Parkview Toll Brothers
  - Escrow Release #6 – CSW Luxor VII Montgomeryville, L.P. – Westrum Montgomeryville
  - Escrow Release #1 – Higher Rock Residential Development

**Introduction:**

6. Welcome and Swearing-In of New Police Officers

**Presentation:**

7. Community and Recreation Center Capital Improvement Plan – D'Huy Engineering, Inc.

**Planning and Zoning:**

8. Public Hearing: Proposed Text Amendment – The Village 511-521 Stump Road
9. Bharatiya Temple – Amended Stipulated Settlement Agreement

**Public Safety:**

10. Approval for the Installation of the Antenna and Cable on NWWA Water Tower
11. Authorization to Purchase and Install New Lockers and Flooring (Police Dept.) and Donation of Old Lockers

**Public Works:**

12. Award Bid for ADA Upgrades at Bethlehem Pike (S.R.309) and Gwynedd Crossing/English Village

**Parks and Recreation:**

13. Approve 2023 Fall Recreation Programs and Fee Schedule

**Old Business:**

**New Business:**

14. Adjournment

**MONTGOMERY TOWNSHIP BOARD OF SUPERVISORS  
BOARD ACTION SUMMARY**

Item #03

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<b>SUBJECT:</b>	Public Comment
<b>MEETING DATE:</b>	September 11, 2023
<b>BOARD LIAISON:</b>	
<b>INITIATED BY:</b>	Candyce Fluehr Chimera-Chairwoman

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**BACKGROUND:**

Persons wishing to make public comment during this meeting on any items not listed on the agenda may do so at this time.

Please come forward to the microphone and state your name and address for the record.

MONTGOMERY TOWNSHIP BOARD OF SUPERVISORS

**BOARD ACTION SUMMARY**

Item #04

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SUBJECT:	Announcement of Executive Session
MEETING DATE:	September 11, 2023
BOARD LIAISON:	Candyce Fluehr Chimera, Chairwoman
INITIATED BY:	Carolyn McCreary, Township Manager

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**BACKGROUND:**

The Township Manager will announce that the Board of Supervisors met in Executive Session and will summarize the matters discussed.

**The Board of Supervisors met in Executive Session earlier this evening at 6:45 PM to discuss one matter involving litigation.**

**The topic discussed is a legitimate subject of an Executive Session pursuant to the Commonwealth of Pennsylvania's Sunshine Law.**

MONTGOMERY TOWNSHIP BOARD OF SUPERVISORS

**BOARD ACTION SUMMARY**

Item #05

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SUBJECT: Consent Agenda  
MEETING DATE: September 11, 2023  
BOARD LIAISON:  
INITIATED BY:

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**BACKGROUND:**

**MOTION TO APPROVE THE CONSENT AGENDA AS PRESENTED for the following:**

- Minutes of the August 28, 2023 Board meeting
- Payment of Bills for September 11, 2023
- Escrow Release No. 4 – The Meadows at Parkview Toll Brothers
- Escrow Release No. 6 – CSW Luxor VII Montgomeryville, L.P. – Westrum Montgomeryville
- Escrow Release No. 1 – Higher Rock Residential Development

- 1) Motion by: \_\_\_\_\_ Second by: \_\_\_\_\_
- 2) Chairwoman will ask for public comment.
- 3) Chairwoman will call for a vote.

**MINUTES OF MEETING  
MONTGOMERY TOWNSHIP BOARD OF SUPERVISORS  
AUGUST 28, 2023**

**1. Call to Order:** The August 28, 2023 action meeting of the Montgomery Township Board of Supervisors was held at the Montgomery Township Municipal Building, 1001 Stump Road, Montgomeryville, PA. Vice-Chairwoman Annette M. Long called the meeting to order at 7:00 p.m.

**IN ATTENDANCE:**

Vice-Chairwoman Annette M. Long  
Supervisor Tanya C. Bamford  
Supervisor Beth A. Staab  
Supervisor Audrey R. Ware  
Township Solicitor Sean Kilkenny, Esq.  
Township Manager Carolyn McCreary

**ALSO IN ATTENDANCE:**

Police Chief J. Scott Bendig  
Fire Chief Bill Wiegman  
Director of Finance Brian Shapiro  
Director of Planning & Zoning Marianne McConnell  
IT Systems Administrator Favian Zendejas  
Recording Secretary Deborah A. Rivas

**ABSENT:** Chair Candyce Fluehr Chimera

**2. & 3. Pledge of Allegiance and Public Comment:** Following the Pledge of Allegiance, Ms. Long called for public comment.

Mr. George Schutte of 109 Cove Circle stated that he was concerned about his neighbor's security camera facing directly into his backyard. He said he had spoken to his neighbor and the Township Police Department to try to resolve the matter. His family does not feel safe in their backyard. Ms. McCreary stated that the Township was aware of the situation and was working on what the Township might be able to do.

**4. Consent Agenda:**

**MOTION:** Upon motion by Ms. Long, seconded by Ms. Bamford, and unanimously carried, the minutes of the August 14, 2023 Board meeting, and the payment of bills for August 28, 2023, were approved as submitted.

**Introduction:**

**5. Appointment of Senior Committee Member Darshan Bhatt –** Ms. Ware announced that the Senior Committee has a vacancy and Township resident Darshan Bhatt expressed an interest in serving on the committee. Mr. Bhatt has attended two meetings and is recommended for consideration by the members of the Senior Committee.

**MOTION:** Upon motion by Ms. Ware, seconded by Ms. Long, and unanimously carried, the Board appointed Darshan Bhatt to the Senior Committee for the remainder of the one-year term which expires on January 1, 2024.

**Planning and Zoning:**

**6. Penn Medicine Preliminary/Final Land Development** – Attorney Greg Davis, representing Penn Medicine, and Christopher Poterjoy, Civil Engineer, reviewed the site plan for the 11-plus acre property located on the east side of Route 202/Dekalb Pike. The applicants propose to construct an ambulatory healthcare center with a parking garage. The concept was first introduced to the Board of Supervisors at their January 24, 2022 public meeting. A public conditional use hearing was held as part of the Board of Supervisors meeting on Monday, March 27, 2023. At the public meeting on April 10, 2023, the Board of Supervisors deliberated on the application, identified conditions for approval, and rendered their decision. Township staff and consultants have had the opportunity to review the details of the land development plan, and the corresponding review letters and waiver requests. At their August 17<sup>th</sup> meeting, the Planning Commission unanimously recommended the Board of Supervisors grant preliminary/final approval for the project. Township engineers, Damon Drummond, and Jim Dougherty, both in attendance, when polled had no concerns regarding the waivers requested. Mr. Davis concurred that the resolution had been reviewed and Penn Medicine was agreeable to all conditions.

**MOTION: Upon motion by Ms. Long, seconded by Ms. Bamford, the Board adopted Resolution No. 2023-15, approving the preliminary/final land development application with requested waivers for the Trustees of the University of Pennsylvania, owner, and operator of the University of Pennsylvania Health System (Penn Medicine) by a vote of 3 to 1, with Ms. Ware opposing.**

**Public Works:**

**7. Authorization to Bid Basketball Court Improvements at Fellowship Park** – Mr. Reiff reported that improvements to the basketball court at Fellowship Park were included in the 2023 Capital Investment Plan. The Township Engineer has prepared the required bid specifications and bids will be solicited utilizing the Penn Bid website.

**MOTION: Upon motion by Ms. Long, seconded by Ms. Bamford, and unanimously carried, the Board authorized the advertisement of the bid for the basketball court improvements at Fellowship Park utilizing PennBid.**

**Parks and Recreation:**

**8. Proposal for Feasibility Study of the Windlestrae Farmhouse** – Ms. McCreary reported that previously, members of the Park and Recreation Board made a recommendation concerning the vacant farmhouse at Windlestrae Park. The Board asked the Township Manager to obtain a cost estimate for a feasibility study of the building. Phillips & Donovan Architects, LLC prepared a proposal for a feasibility study after inspecting the interior and exterior of the building. The cost for the Basic Services is \$12,400.00, with options for additional services. Ms. McCreary reminded the Board that several park projects are happening at this time, including the new dog park, the improvements at Fellowship Park, the renovation of Whistlestop Park, and the extension of the

Powerline Trail. In addition, Ms. McCreary reminded the Board that the recent borrowing of \$15 million to offset the many capital improvement projects has a balance remaining of \$2.5 million. Discussion followed and the Board was in unanimous agreement to move forward with the feasibility study at this time.

**Administration and Finance:**

**9. Approve the Purchase and Installation of Switch Replacements for the Police Department:**

Chief Bendig reported that IT Director Rich Grier had planned to upgrade the network switches in the Police Department in 2024. However, with the stepped-up plan to replace the body-worn cameras, this change is needed in 2023. Adding one new switch to the existing network will provide the Police Department with the ability to run WatchGuard and the new Axon system simultaneously. In 2024, a second new switch will be installed, and the remaining old switches removed, giving the department an all-new network infrastructure.

**MOTION: Upon motion by Ms. Long, seconded by Ms. Bamford, and unanimously carried, the Board approved the proposal from Omega Systems Corp., dated August 16, 2023, in the amount of \$20,792.85, for the purchase and installation of the Police Department network switch.**

**10. Montgomery County-Norristown Public Library Request for Funding:** Ms. McCreary reported that the Township received a letter from the Executive Director of the library thanking the Board for its annual support and requesting consideration to increase it in 2024. The Township has budgeted \$10,000 in the 2023 budget. Discussion followed and the Board agreed that it is currently donating to the North Wales Library which serves many of the Township residents, and the county library provides a weekly visit from the bookmobile to the recreation center. The consensus was to leave the annual contribution at \$10,000 for the county library.

**11. Ratification of Real Estate Tax Appeal Settlement – 976 Bethlehem Pike –** Mr. Shapiro reported that in 2022, the taxpayer filed an appeal for the property at 976 Bethlehem Pike. The assessed value of the property is now \$2,655,000.00. The proposed settlement negotiated between the School District and the Taxpayer resulted in the Township issuing a refund of \$2,554.81 for tax year 2022 and \$3,406.32 for tax year 2023.

**MOTION: Upon motion by Ms. Long, seconded by Ms. Staab, and unanimously carried, the Board approved the stipulated settlement for 976 Bethlehem Pike and authorized the Township Solicitor to execute the document on behalf of the Township.**

**Old Business:**

**12. Update on Zoning Hearing Board Application for The Venue at Montgomery Mall –** Ms. McCreary reported that the applicant seeks to expand the use variance granted on May 19, 2023, related to indoor recreation/entertainment to now permit BYOB events. At the August 14, 2023 Board of Supervisors public meeting, staff sought and received ratification of the Board's prior

opposition to the application and decision to send the Solicitor to the hearing to oppose the application or, in the alternative, authorize the Township staff and the Solicitor to discuss the matter with the applicant and their attorney to determine if conditions can be agreed to that would satisfy the Township's concerns related to the BYOB use, thereby resulting in a withdrawal of the authorization to send the Solicitor to oppose the hearing if the applicant agrees to such conditions as a part of any zoning relief granted by the Zoning Hearing Board. Staff, including the Township Manager, Police Chief, and Director of Planning and Zoning along with the Township Solicitor, John Walko, met with the applicants, their attorney, and the operations manager of the Montgomery Mall on August 21<sup>st</sup>. Based on the explanation provided, and representations made, staff was unable to develop conditions that would allow the Township to rescind the recommendation with the Township Solicitor opposing the application. There are concerns about not having licensed bartenders, lack of security for the volume of people in attendance at events, existing businesses in the mall, no outside entrance/exit, and no restrooms in the venue, resulting in patrons accessing the mall and utilizing the restrooms in the food court area. Based on this information, the Board ratified their decision to send the Township Solicitor to oppose the application at the Zoning Hearing Board.

**New Business:**

**13. Department Reports:** Monthly reports were submitted by each department for activity in the month of July. Ms. McCreary provided the Board with an update on the Township's capital projects. The Friendship Park and Recreation and Community Center Bocce Courts are completed. The Fellowship Park improvements bid was awarded on August 14, 2023. The Knapp Road Dog Park is currently out to bid with an anticipated award at the second meeting in September. The Whistlestop Park project is currently under design development. The Upper State Road and Spring Valley Drive and Kenas Road and Windlestrae Park Rectangular Rapid Flashing Beacon projects are almost complete. The Bethlehem Pike and English Village ADA Upgrades and Bethlehem Pike and English Village signal upgrades are in progress. The Stump Road sidewalk crosswalk to the community center is complete. Signal upgrades that are complete include the mall jughandles and the No Turn on Red signage at 202 Parkway and Horsham Road. Projects currently under review include Bethlehem Pike & Taylor Road/McLaughlin Rd Signal Upgrade, Five Points Plaza (Lowe's) / Horsham Road for full camera/traffic adaptive replacement, and Knapp Road and North Wales Road signal upgrade.

**14. Committee Liaison Reports:** Ms. Long reported that the Community and Recreation Center just completed Kids University with 160 children participating. This summer the concert series included food trucks and was very well attended. The fall program registration is live and the splash pad had another successful summer with the last day to be on Labor Day, September 5, 2023. Ms. Bamford reported that the Sewer Authority is discussing the possibility of gifting a restroom facility to the Township to be in the Rose Twig Section of Windlestrae Park. The Park and Recreation Board was excited to hear about the possibility of a restroom facility in Rose Twig Park and possible plans for the Windlestrae House. As the Park Board met in different parks over the summer, the last meeting was held at Memorial Grove. Recently a resident requested that the Township consider making more reflective passive park areas in the Township instead of adding

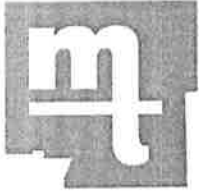


more sports fields. The Shade Tree Commission did not meet. Ms. Staab reported that the EAC and Ready for 100 Committee did not meet. Ms. Ware did not attend the Senior Committee but did announce that there were two future dates for Medicare seminars in October sponsored by the Senior Committee.

**Adjournment:** Upon motion by Ms. Long and seconded by Ms. Staab, the meeting was adjourned at 8:03 p.m.

Respectfully submitted,

Deborah A. Rivas, Recording Secretary



Montgomery Township, PA

# My Check Report

By Check Number

Date Range: 08/25/2023 - 09/11/2023

Vendor Number	Vendor Name	Payment Date	Payment Type	Discount Amount	Payment Amount	Number
<b>Bank Code: POOL AP-APBNK</b>						
00000496	21st Century Media Newspapers LLC	08/25/2023	Regular	0.00	1,145.42	96023
00000006	Acme Uniforms For Industry	08/25/2023	Regular	0.00	391.28	96024
100000814	Amazon.com Services, Inc	08/25/2023	Regular	0.00	969.31	96025
100001631	Bridge Global Services	08/25/2023	Regular	0.00	1,701.00	96026
100001762	Britton Industries, Inc.	08/25/2023	Regular	0.00	43.00	96027
100000331	BSN Sports, LLC	08/25/2023	Regular	0.00	400.58	96028
100000405	C.E.S.	08/25/2023	Regular	0.00	1,263.42	96029
01127	Cherie Brewer-Giles	08/25/2023	Regular	0.00	146.00	96030
01126	Christopher Chaplin	08/25/2023	Regular	0.00	274.00	96031
00000111	David H. Lightkep, Inc.	08/25/2023	Regular	0.00	313.20	96032
01026	Dei -D'Huy Engineering, Inc	08/25/2023	Regular	0.00	5,124.84	96033
01026	Dei -D'Huy Engineering, Inc	08/25/2023	Regular	0.00	2,400.00	96034
00000118	Del-Val International Trucks, Inc.	08/25/2023	Regular	0.00	621.73	96035
01119	Diane Kim	08/25/2023	Regular	0.00	90.00	96036
00001460	DJB Specialties, Inc.	08/25/2023	Regular	0.00	605.00	96037
00001332	Eagle Power & Equipment Corp	08/25/2023	Regular	0.00	166.92	96038
03214663	Elite 3 Facilities Maintneance, LLC	08/25/2023	Regular	0.00	5,175.00	96039
00903110	Established Traffic Control	08/25/2023	Regular	0.00	402.71	96040
00000161	Eureka Stone Quarry, Inc.	08/25/2023	Regular	0.00	373.06	96041
100001991	Eurofins Environmental Testing	08/25/2023	Regular	0.00	150.00	96042
00001852	G.L. Sayre, Inc.	08/25/2023	Regular	0.00	93.63	96043
00000817	Gilmore & Associates, Inc.	08/25/2023	Regular	0.00	32,349.19	96044
	**Void**	08/25/2023	Regular	0.00	0.00	96045
00000198	Glasgow, Inc.	08/25/2023	Regular	0.00	430.62	96046
00000213	Hajoca Corporation	08/25/2023	Regular	0.00	110.20	96047
00000903	Home Depot Credit Services	08/25/2023	Regular	0.00	197.23	96048
100001811	Keystone Municipal Services, Inc.	08/25/2023	Regular	0.00	8,362.50	96049
100001592	Kilkenny Law, LLC	08/25/2023	Regular	0.00	2,339.25	96050
01120	Melanie Lankin	08/25/2023	Regular	0.00	50.00	96051
01129	Michelle Colbridge	08/25/2023	Regular	0.00	150.00	96052
00000324	Moyer Indoor / Outdoor	08/25/2023	Regular	0.00	215.00	96053
100000117	North Penn School District	08/25/2023	Regular	0.00	1,035.00	96054
00000399	PECO Energy	08/25/2023	Regular	0.00	2,299.15	96055
100000755	Petroleum Traders Corp.	08/25/2023	Regular	0.00	4,300.64	96056
100000754	Petroleum Traders Corp.	08/25/2023	Regular	0.00	1,462.77	96057
00000945	Pipersville Garden Center, Inc.	08/25/2023	Regular	0.00	975.76	96058
100000731	Pitney Bowes, Inc	08/25/2023	Regular	0.00	733.95	96059
100001637	Quill LLC	08/25/2023	Regular	0.00	151.96	96060
00906102	Ready Refresh	08/25/2023	Regular	0.00	97.44	96061
00001618	Sealmaster	08/25/2023	Regular	0.00	107.50	96062
00000465	Shapiro Fire Protection Company	08/25/2023	Regular	0.00	75.60	96063
100000790	Shoen Safety & Training	08/25/2023	Regular	0.00	180.00	96064
100000701	Staples Business Credit	08/25/2023	Regular	0.00	82.40	96065
100001522	Sunyoung Teel	08/25/2023	Regular	0.00	45.00	96066
00001783	The Homer Group	08/25/2023	Regular	0.00	498.00	96067
01128	Theatre Horizon	08/25/2023	Regular	0.00	1,440.00	96068
100000210	Unifirst	08/25/2023	Regular	0.00	85.91	96069
00001329	Weldon Auto Parts	08/25/2023	Regular	0.00	54.69	96070
PAYR-Keystone	Keystone Consulting Group	08/29/2023	Regular	0.00	182.00	96071
00001330	McCallion Staffing Specialists	08/29/2023	Regular	0.00	734.40	96072
PAYR-IAFF	Montgomery Township Professional	08/29/2023	Regular	0.00	280.89	96073
00002033	Republic Services No. 320	08/29/2023	Regular	0.00	2,014.09	96074
100001591	Scott Young	08/29/2023	Regular	0.00	1,416.54	96075
100000701	Staples Business Credit	08/29/2023	Regular	0.00	50.30	96076

## My Check Report

Date Range: 08/25/2023 - 09/11/2023

Vendor Number	Vendor Name	Payment Date	Payment Type	Discount Amount	Payment Amount	Number
00000496	21st Century Media Newspapers LLC	09/07/2023	Regular	0.00	827.02	96077
00000006	Acme Uniforms For Industry	09/07/2023	Regular	0.00	586.92	96078
100002231	Adam J. Morrow	09/07/2023	Regular	0.00	200.00	96079
100000892	Adam Zwislewski	09/07/2023	Regular	0.00	350.00	96080
100000814	Amazon.com Services, Inc	09/07/2023	Regular	0.00	1,020.92	96081
100000888	Andrew Weiner	09/07/2023	Regular	0.00	350.00	96082
100001890	Angel G. Mejias	09/07/2023	Regular	0.00	650.00	96083
100001978	Anthony Zirpoli	09/07/2023	Regular	0.00	100.00	96084
100001828	Aramco, Inc.	09/07/2023	Regular	0.00	564.48	96085
00000027	Armour & Sons Electric, Inc.	09/07/2023	Regular	0.00	3,634.00	96086
100001357	Ashini Desai	09/07/2023	Regular	0.00	60.00	96087
00000031	AT&T	09/07/2023	Regular	0.00	114.43	96088
00000340	B Safe Inc.	09/07/2023	Regular	0.00	265.03	96089
100000128	Bow Wow Waste	09/07/2023	Regular	0.00	1,709.70	96090
100001244	Brandi Blusiewicz	09/07/2023	Regular	0.00	200.00	96091
100000979	Brandon Uzdzienski	09/07/2023	Regular	0.00	100.00	96092
100001080	Brian Graber	09/07/2023	Regular	0.00	200.00	96093
100001762	Britton Industries, Inc.	09/07/2023	Regular	0.00	64.50	96094
100000405	C.E.S.	09/07/2023	Regular	0.00	294.03	96095
100000878	Carl F. Herr	09/07/2023	Regular	0.00	100.00	96096
100001879	Carlos A. Gonzalez Jr	09/07/2023	Regular	0.00	100.00	96097
00000363	Comcast	09/07/2023	Regular	0.00	21.06	96098
100001086	Commonwealth of Pennsylvania	09/07/2023	Regular	0.00	500.00	96099
100002088	Crash Champions #0504	09/07/2023	Regular	0.00	633.00	96100
00000629	Davidheiser's Inc.	09/07/2023	Regular	0.00	367.00	96101
01026	Dei -D'Huy Engineering, Inc	09/07/2023	Regular	0.00	928.86	96102
100000213	Dog Town	09/07/2023	Regular	0.00	575.94	96103
00000967	DVHT Delaware Valley Health Trust	09/07/2023	Regular	0.00	183,313.88	96104
00000161	Eureka Stone Quarry, Inc.	09/07/2023	Regular	0.00	452.38	96105
100001991	Eurofins Environmental Testing	09/07/2023	Regular	0.00	295.00	96106
100000906	FBI Leeda	09/07/2023	Regular	0.00	795.00	96107
00001466	FedEx Office	09/07/2023	Regular	0.00	63.60	96108
100001602	Frank J. Blusiewicz Jr	09/07/2023	Regular	0.00	150.00	96109
00001852	G.L. Sayre, Inc.	09/07/2023	Regular	0.00	308.55	96110
00000188	Galls, an Aramark Co., LLC	09/07/2023	Regular	0.00	580.96	96111
00000193	George Allen Portable Toilets, Inc.	09/07/2023	Regular	0.00	1,104.00	96112
00000198	Glasgow, Inc.	09/07/2023	Regular	0.00	481.24	96113
00001323	Glick Fire Equipment Company Inc	09/07/2023	Regular	0.00	612.42	96114
01107	Gloria Anne Cairns	09/07/2023	Regular	0.00	234.50	96115
00000608	Goose Squad L.L.C.	09/07/2023	Regular	0.00	900.00	96116
100000162	Herman Goldner Company, Inc.	09/07/2023	Regular	0.00	3,246.00	96117
00000903	Home Depot Credit Services	09/07/2023	Regular	0.00	390.71	96118
01137	Homefront Protective Group, Inc.	09/07/2023	Regular	0.00	295.00	96119
00000102	Interstate Battery Systems of	09/07/2023	Regular	0.00	125.95	96120
100000882	Jacob Millevoi	09/07/2023	Regular	0.00	50.00	96121
100000365	James D. Morrissey, Inc	09/07/2023	Regular	0.00	992,934.59	96122
100001893	Jefferson Lansdale Hospital	09/07/2023	Regular	0.00	8.00	96123
100001994	John Bereschak	09/07/2023	Regular	0.00	150.00	96124
100000881	John H. Mogensen	09/07/2023	Regular	0.00	150.00	96125
00000257	John R. Young & Company	09/07/2023	Regular	0.00	20.46	96126
00000740	K.J. Door Services Inc.	09/07/2023	Regular	0.00	654.99	96127
100000554	Keith Grierson	09/07/2023	Regular	0.00	100.00	96128
100002042	Kenco Hydraulics	09/07/2023	Regular	0.00	19.94	96129
100001811	Keystone Municipal Services, Inc.	09/07/2023	Regular	0.00	15,600.00	96130
100001254	Kilcoyne & Kelm, LLC	09/07/2023	Regular	0.00	3,396.25	96131
03214591	Kimball Midwest	09/07/2023	Regular	0.00	49.37	96132
100001661	Kyle W. Stump	09/07/2023	Regular	0.00	100.00	96133
100002121	Lauren K Maxwell	09/07/2023	Regular	0.00	50.00	96134
00000057	Lawn and Golf Supply Company, Inc.	09/07/2023	Regular	0.00	227.45	96135
00001706	Lowe's Companies Inc.	09/07/2023	Regular	0.00	61.66	96136
100002165	Luke Kirchner	09/07/2023	Regular	0.00	50.00	96137

## My Check Report

Date Range: 08/25/2023 - 09/11/2023

Vendor Number	Vendor Name	Payment Date	Payment Type	Discount Amount	Payment Amount	Number
100002165	Luke Kirchner	09/07/2023	Regular	0.00	100.00	96138
00000201	Mastertech Auto Service, LLC.	09/07/2023	Regular	0.00	2,683.45	96139
100000875	Michael H. Bean	09/07/2023	Regular	0.00	150.00	96140
100001926	Michael J. Kunzig	09/07/2023	Regular	0.00	150.00	96141
00000324	Moyer Indoor / Outdoor	09/07/2023	Regular	0.00	147.75	96142
00000540	Mystic Pizza	09/07/2023	Regular	0.00	986.00	96143
00001813	Occupational Health Centers	09/07/2023	Regular	0.00	1,194.72	96144
100001969	ODP Business Solutions, LLC	09/07/2023	Regular	0.00	108.97	96145
100001567	Omega Systems Consultants, Inc.	09/07/2023	Regular	0.00	19,497.85	96146
100000120	Otis Elevator Company	09/07/2023	Regular	0.00	5,422.68	96147
01133	Party City Corp.	09/07/2023	Regular	0.00	175.00	96148
100002199	Patrick Kerr	09/07/2023	Regular	0.00	250.00	96149
100002003	Patriot Workwear	09/07/2023	Regular	0.00	330.50	96150
00000399	PECO Energy	09/07/2023	Regular	0.00	6,876.17	96151
00000397	PECO Energy	09/07/2023	Regular	0.00	13,395.03	96152
00000726	Penn-Holo Sales & Services	09/07/2023	Regular	0.00	1,165.95	96153
100000754	Petroleum Traders Corp.	09/07/2023	Regular	0.00	6,568.01	96154
100000755	Petroleum Traders Corp.	09/07/2023	Regular	0.00	2,683.47	96155
00000009	Petty Cash	09/07/2023	Regular	0.00	71.06	96156
00000252	Pure Cleaners	09/07/2023	Regular	0.00	824.50	96157
100001010	Rachel Gibson	09/07/2023	Regular	0.00	100.00	96158
00002080	Regent Hydraulic & Machine Works	09/07/2023	Regular	0.00	497.25	96159
100001218	Robert Decker Enterprises, Inc.	09/07/2023	Regular	0.00	564.00	96160
00000741	Robert E. Little, Inc.	09/07/2023	Regular	0.00	40.89	96161
01108	Ross Lindy & Amy Coryell	09/07/2023	Regular	0.00	65.50	96162
03214573	SAR Automotive Equipment	09/07/2023	Regular	0.00	350.00	96163
01124	Scott Payne Custom Pools	09/07/2023	Regular	0.00	1,200.00	96164
00001618	Sealmaster	09/07/2023	Regular	0.00	450.48	96165
01132	Shree Siddhivinayka Foods	09/07/2023	Regular	0.00	104.50	96166
00000468	Sirchie Finger Print	09/07/2023	Regular	0.00	493.66	96167
100000701	Staples Business Credit	09/07/2023	Regular	0.00	579.02	96168
100002017	TD Card Services	09/07/2023	Regular	0.00	4,082.79	96169
00001375	The Partnership TMA	09/07/2023	Regular	0.00	2,479.00	96170
00906111	The Protection Bureau	09/07/2023	Regular	0.00	456.00	96171
00002020	Thomson Reuters	09/07/2023	Regular	0.00	283.64	96172
00001273	Tim Kurek	09/07/2023	Regular	0.00	730.00	96173
100000574	Traffic Products	09/07/2023	Regular	0.00	5,618.00	96174
00000506	Trans Union LLC	09/07/2023	Regular	0.00	90.00	96175
100002174	Unwined & Paint	09/07/2023	Regular	0.00	250.00	96176
00000040	Verizon	09/07/2023	Regular	0.00	586.92	96177
00000040	Verizon	09/07/2023	Regular	0.00	186.03	96178
00000040	Verizon	09/07/2023	Regular	0.00	269.00	96179
00000040	Verizon	09/07/2023	Regular	0.00	364.58	96180
00000038	Verizon Wireless Services, LLC	09/07/2023	Regular	0.00	2,372.89	96181
00000038	Verizon Wireless Services, LLC	09/07/2023	Regular	0.00	562.76	96182
00000132	Vimco Inc.	09/07/2023	Regular	0.00	35.00	96183
100000854	Vinay P. Setty	09/07/2023	Regular	0.00	280.00	96184
100000891	Vincent Zirpoli	09/07/2023	Regular	0.00	350.00	96185
01106	Vision Solar	09/07/2023	Regular	0.00	254.50	96186
01136	W2005 Fargo Hotels Pool A Realty LP	09/07/2023	Regular	0.00	7,586.49	96187
00001329	Weldon Auto Parts	09/07/2023	Regular	0.00	917.55	96188
100001138	William E. Adams	09/07/2023	Regular	0.00	50.00	96189
100001013	William F. Wiegman III	09/07/2023	Regular	0.00	1,685.45	96190
00001084	Witmer Associates, Inc.	09/07/2023	Regular	0.00	4,699.39	96191
PAYR-PBA	Police Benevolent Association	08/31/2023	Bank Draft	0.00	1,439.00	DFT0000059
PAYR-POL PEN	U.S. Bank	08/31/2023	Bank Draft	0.00	7,680.14	DFT0000060
PAYR-PA SCDU	PA SCDU	08/31/2023	Bank Draft	0.00	530.77	DFT0000061
PAYR-401	Empower Retirement	08/31/2023	Bank Draft	0.00	16,838.90	DFT0000062
PAYR-457	Empower Retirement	08/31/2023	Bank Draft	0.00	17,069.14	DFT0000063
PAYR-PHILA	City of Philadelphia	08/31/2023	Bank Draft	0.00	375.50	DFT0000064
PAYR-SITW	State of Pennsylvania	08/31/2023	Bank Draft	0.00	10,700.37	DFT0000065

My Check Report

Date Range: 08/25/2023 - 09/11/2023

Vendor Number	Vendor Name	Payment Date	Payment Type	Discount Amount	Payment Amount	Number
PAYR-FITW	United States Treasury	08/31/2023	Bank Draft	0.00	97,739.59	DFT0000066

Bank Code POOL AP Summary

Payment Type	Payable Count	Payment Count	Discount	Payment
Regular Checks	306	168	0.00	1,407,263.27
Manual Checks	0	0	0.00	0.00
Voided Checks	0	1	0.00	0.00
Bank Drafts	8	8	0.00	152,373.41
EFT's	0	0	0.00	0.00
	314	177	0.00	1,559,636.68

**All Bank Codes Check Summary**

Payment Type	Payable Count	Payment Count	Discount	Payment
Regular Checks	306	168	0.00	1,407,263.27
Manual Checks	0	0	0.00	0.00
Voided Checks	0	1	0.00	0.00
Bank Drafts	8	8	0.00	152,373.41
EFT's	0	0	0.00	0.00
	<b>314</b>	<b>177</b>	<b>0.00</b>	<b>1,559,636.68</b>

**Fund Summary**

Fund	Name	Period	Amount
99	Claim on Pooled Cash	8/2023	236,731.49
99	Claim on Pooled Cash	9/2023	1,322,905.19
			<b>1,559,636.68</b>

MONTGOMERY TOWNSHIP BOARD OF SUPERVISORS

**BOARD ACTION SUMMARY**

Item #05a

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SUBJECT: Construction Escrow Release 4 – The Meadows at Parkview at the Enclave at Montgomery – LD/S#679  
MEETING DATE: September 11, 2023  
BOARD LIAISON: Candyce Fluehr Chimera, Chairwoman  
INITIATED BY: Marianne McConnell, Director of Planning and Zoning

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**BACKGROUND:**

Attached is a construction escrow release requested by Toll Brothers for The Meadows at Parkview at the Enclave at Montgomery as recommended by the Township Engineer.

The original amount of the escrow was \$1,586,851.26, held as a Performance Bond with the Township. This is the fourth release and is in the amount of \$39,060.00. The new balance would be \$346,249.21.

**MOTION/RESOLUTION:**

**Motion** to authorize as part of the consent agenda



**GILMORE & ASSOCIATES, INC.**  
ENGINEERING & CONSULTING SERVICES

**VIA CERTIFEID MAIL**

August 28, 2023

File No. 2015-01173

Carolyn McCreary, Township Manager  
Montgomery Township  
1001 Stump Road  
Montgomeryville, PA 18936-9605

Reference: The Meadows at Parkview at the Enclave at Montgomery - LD/S#679  
Escrow Release 4

Dear Carolyn:

We have received and reviewed the Request for Escrow Release for the above-referenced project from Toll Brothers, Inc., dated August 10, 2023. Our office received the request on August 14, 2023. This letter is to certify that the improvements attached to this letter in the amount of \$39,060.00 have been completed. Please find enclosed a copy of our escrow calculations and the application for release of funds for your use.

Please be advised that these improvements will be subject to a final inspection prior to dedication and again at the end of the maintenance period. Any deficiencies will be required to be corrected by the developer.

Should you have any further questions or require any additional information, please do not hesitate to contact our office.

Sincerely,

James P. Dougherty, P.E.  
Senior Project Manager  
Gilmore & Associates, Inc.

JPD/sl

Enclosure: Release of Escrow Form (August 28, 2023)  
Summary of Improvement Escrow Account (August 28, 2023)  
Developer's request dated August 10, 2023

cc: Marianne McConnell, Zoning Officer – Montgomery Township  
Mary Gambino, Project Coordinator – Montgomery Township  
Sean Kilkenny, Esq., Solicitor – Kilkenny Law, LLC.  
Judith Stern Goldstein, ASLA, R.L.A. – Gilmore & Associates, Inc.  
Damon Drummond, P.E., PTOE – Gilmore & Associates, Inc.  
Thaddeus Craun – Toll Brothers, Inc.  
Brian Dusault, Construction Services Manager – Gilmore & Associates, Inc.



**RELEASE OF ESCROW FORM**

James P. Dougherty, P.E.  
Senior Project Manager  
Gilmore & Associates, Inc.  
65 East Butler Avenue, Suite 100  
New Britain, PA 18901  
215-345-4330

Date: 08/28/2023

**Development:** Meadows at Parkview - LDS-679

**G&A Project #:** 2015-01173

**Release #:** 4

Dear Mr. Dougherty:

This is an escrow release request in the amount of \$39,060.00. Enclosed is a copy of our escrow spreadsheet with the quantities noted.

**ESCROW RELEASE REQUESTS ARE LIMITED TO ONE PER MONTH.**

Ms. Carolyn McCreary  
Township Manager  
Montgomery Township  
1001 Stump Road  
Montgomeryville, PA 18936

Date: 08/28/2023

Dear Ms. McCreary:

We have reviewed the developer's request for an escrow release. We therefore, recommend that \$39,060.00 be released. These improvements will be subject to a final observation prior to dedication and again at the end of the maintenance period. Any deficiencies will be required to be corrected by the developer.

James P. Dougherty 8/28/2023  
James P. Dougherty, P.E., Senior Project Manager, Gilmore & Associates, Inc.

Resolution # \_\_\_\_\_

WHEREAS, a request for release of escrow was received from Toll Mid-Atlantic L.P. Company, Inc. for Meadows at Parkview - LDS-679, in the amount of \$39,060.00, on the representation that work set forth in the Land Development Agreement to the extent has been completed and; WHEREAS, said request has been reviewed by the Township Engineer who recommends release of \$39,060.00; NOW, THEREFORE, BE IT RESOLVED by the Board of Supervisors of Montgomery Township that we do hereby authorize release of \$39,060.00; in accordance with the developer's request, and the officers of the Township are authorized to take the necessary action to obtain release of said sum contingent upon payment of any and all outstanding bills. BE IT FURTHER RESOLVED that Township records indicate that escrow has been deposited via Performance Bond with Montgomery Township in total sum of \$1,586,851.26 pursuant to a signed Land Development Agreement and that \$1,201,542.05 has previously been released from escrow. Therefore, the action of the Board releasing said sum leaves a new balance of \$346,249.21 in escrow.

MOTION BY: \_\_\_\_\_

VOTE: \_\_\_\_\_

SECOND BY: \_\_\_\_\_

DATED: \_\_\_\_\_

RELEASED BY: \_\_\_\_\_

Department Director



# ESCROW RELEASE NO.: 4

DATE PREPARED: 28-Aug-2023

PROJECT NAME: Meadows at Parkview	TOTAL ENG/INSP/LEGAL (CASH ESCROW): \$ 45,000.00	MONTGOMERY TOWNSHIP
DEVELOPER: Toll Mid-Atlantic L.P. Company, Inc.	TOTAL ADMINISTRATION (CASH ESCROW): \$ 5,000.00	TOWNSHIP NO.: LDS-679
ESCROW AGENT: International Fidelity Insurance Company		G&A PROJECT NO.: 2015-01173
TYPE OF SECURITY: Performance Bond	MAINTENANCE BOND AMOUNT (15%): \$ 216,388.81	AGREEMENT DATE: 31-Jul-2019

SUMMARY OF IMPROVEMENT ESCROW ACCOUNT	TOTAL COST	RELEASE REQUESTS			BALANCE
		CURRENT	PRIOR	TOTAL	
CONSTRUCTION	\$1,442,592.05	\$ 39,060.00	\$ 1,201,542.05	\$ 1,240,602.05	\$ 201,990.00
ANNUAL 10% CONSTRUCTION COST INCREASE (Balance as of MM/DD/YYYY = \$X.XX)	\$ -	\$ -	\$ -	\$ -	\$ -
CONTINGENCY (10%)	\$ 144,259.21	\$ -	\$ -	\$ -	\$ 144,259.21
TOTAL	\$ 1,586,851.26	\$ 39,060.00	\$ 1,201,542.05	\$ 1,240,602.05	\$ 346,249.21

CONSTRUCTION ITEMS					UNIT	QUANTITY	UNIT COST	TOTAL COST	CURRENT REQUEST		PRIOR REQUESTS		TOTAL REQUESTS (incl. current release)		AVAILABLE FOR RELEASE (incl. current release)			
									QTY	COST	QTY	COST	QTY	COST	QTY	COST		
A. <u>SOIL EROSION AND SEDIMENT CONTROL</u>																		
1.	Construction Entrance	EA	1	\$	2,500.00	\$	2,500.00		\$	-	1.00	\$	2,500.00	1.00	\$	2,500.00	\$	-
2.	12 inch Filter Sock	LF	600	\$	3.95	\$	2,370.00		\$	-	600.00	\$	2,370.00	600.00	\$	2,370.00	\$	-
3.	Silt Fence	LF	200	\$	2.00	\$	400.00		\$	-	200.00	\$	400.00	200.00	\$	400.00	\$	-
4.	Tree Protection Fence	LF	1,600	\$	2.00	\$	3,200.00		\$	-	1,600.00	\$	3,200.00	1,600.00	\$	3,200.00	\$	-
5.	Inlet Protection	EA	19	\$	115.00	\$	2,185.00		\$	-	19.00	\$	2,185.00	19.00	\$	2,185.00	\$	-
6.	Temporary Seeding	SF	300,000	\$	0.04	\$	12,000.00		\$	-	300,000.00	\$	12,000.00	300,000.00	\$	12,000.00	\$	-
7.	Remove E&S Measures	LS	1	\$	2,300.00	\$	2,300.00		\$	-	1.00	\$	2,300.00	1.00	\$	2,300.00	\$	-
B. <u>EARTHWORK</u>																		
1.	Site Grading	LS	1	\$	10,000.00	\$	10,000.00		\$	-	1.00	\$	10,000.00	1.00	\$	10,000.00	\$	-
2.	Cut to Fill	LS	1	\$	30,000.00	\$	30,000.00		\$	-	1.00	\$	30,000.00	1.00	\$	30,000.00	\$	-
3.	Retaining Wall	SF	700	\$	45.00	\$	31,500.00		\$	-	700.00	\$	31,500.00	700.00	\$	31,500.00	\$	-
4.	Fall Protection Fence	LF	95	\$	40.00	\$	3,800.00		\$	-	95.00	\$	3,800.00	95.00	\$	3,800.00	\$	-
5.	Topsoil Return (inc. soil amendment)	CY	4,000	\$	7.00	\$	28,000.00		\$	-	4,000.00	\$	28,000.00	4,000.00	\$	28,000.00	\$	-
C. <u>STORMWATER</u>																		
<u>Storm Sewer</u>																		
1.	15 in. HDPE (inc. PennDOT 2B backfill)	LF	1,102	\$	48.00	\$	52,896.00		\$	-	1,102.00	\$	52,896.00	1,102.00	\$	52,896.00	\$	-
2.	18 in. HDPE (inc. PennDOT 2B backfill)	LF	640	\$	60.00	\$	38,400.00		\$	-	640.00	\$	38,400.00	640.00	\$	38,400.00	\$	-
3.	24 in. HDPE (inc. PennDOT 2B backfill)	LF	217	\$	71.00	\$	15,407.00		\$	-	217.00	\$	15,407.00	217.00	\$	15,407.00	\$	-
4.	30 in. HDPE (inc. PennDOT 2B backfill)	LF	311	\$	90.00	\$	27,990.00		\$	-	311.00	\$	27,990.00	311.00	\$	27,990.00	\$	-
5.	36 in. HDPE (inc. PennDOT 2B backfill)	LF	190	\$	105.00	\$	19,950.00		\$	-	190.00	\$	19,950.00	190.00	\$	19,950.00	\$	-
6.	Type M Inlet	EA	7	\$	2,000.00	\$	14,000.00		\$	-	7.00	\$	14,000.00	7.00	\$	14,000.00	\$	-
7.	Type C Inlet	EA	21	\$	2,000.00	\$	42,000.00		\$	-	21.00	\$	42,000.00	21.00	\$	42,000.00	\$	-
8.	Manhole	EA	8	\$	2,500.00	\$	20,000.00		\$	-	8.00	\$	20,000.00	8.00	\$	20,000.00	\$	-
<u>Bio-Retention Area BIO 1</u>																		
9.	Type M Inlet	2,895 SF EA	1	\$	2,000.00	\$	2,000.00		\$	-	1.00	\$	2,000.00	1.00	\$	2,000.00	\$	-
10.	4 inch perf. PVC U-Drain	LF	100	\$	20.00	\$	2,000.00		\$	-	100.00	\$	2,000.00	100.00	\$	2,000.00	\$	-
11.	Amended Soil	2.00 CY	214	\$	8.00	\$	1,712.00		\$	-	214.00	\$	1,712.00	214.00	\$	1,712.00	\$	-
12.	AASHTO #3	3.00 CY	322	\$	5.00	\$	1,610.00		\$	-	322.00	\$	1,610.00	322.00	\$	1,610.00	\$	-
13.	Geotextile	337 SF	6,801	\$	0.25	\$	1,700.25		\$	-	6,801.00	\$	1,700.25	6,801.00	\$	1,700.25	\$	-
14.	Bio-Retention Seeding (ERNMX-180)	SF	2,895	\$	0.15	\$	434.25		\$	-	2,895.00	\$	434.25	2,895.00	\$	434.25	\$	-
<u>Bio-Retention Area BIO 2</u>																		
15.	2 x 2 Inlet	EA	1	\$	1,500.00	\$	1,500.00		\$	-	1.00	\$	1,500.00	1.00	\$	1,500.00	\$	-
16.	4 inch perf. PVC U-Drain	LF	35	\$	20.00	\$	700.00		\$	-	35.00	\$	700.00	35.00	\$	700.00	\$	-
17.	4 inch PVC	LF	82	\$	20.00	\$	1,640.00		\$	-	82.00	\$	1,640.00	82.00	\$	1,640.00	\$	-
18.	Amended Soil	2.25 CY	67	\$	8.00	\$	536.00		\$	-	67.00	\$	536.00	67.00	\$	536.00	\$	-
19.	Bio-Retention Seeding (ERNMX-180)	SF	800	\$	5.00	\$	4,000.00		\$	-	800.00	\$	4,000.00	800.00	\$	4,000.00	\$	-

**ESCROW RELEASE NO.: 4**

DATE PREPARED: 28-Aug-2023

PROJECT NAME:	Meadows at Parkview	TOTAL ENG/INSP/LEGAL (CASH ESCROW):	\$ 45,000.00	MONTGOMERY TOWNSHIP
DEVELOPER:	Toll Mid-Atlantic L.P. Company, Inc.	TOTAL ADMINISTRATION (CASH ESCROW):	\$ 5,000.00	TOWNSHIP NO.: LDS-679
ESCROW AGENT:	International Fidelity Insurance Company			G&A PROJECT NO.: 2015-01173
TYPE OF SECURITY:	Performance Bond	MAINTENANCE BOND AMOUNT (15%):	\$ 216,388.81	AGREEMENT DATE: 31-Jul-2019

SUMMARY OF IMPROVEMENT ESCROW ACCOUNT	TOTAL COST	RELEASE REQUESTS			BALANCE
		CURRENT	PRIOR	TOTAL	
CONSTRUCTION	\$1,442,592.05	\$ 39,060.00	\$ 1,201,542.05	\$ 1,240,602.05	\$ 201,990.00
ANNUAL 10% CONSTRUCTION COST INCREASE (Balance as of MM/DD/YYYY = \$X.XX)	\$ -	\$ -	\$ -	\$ -	\$ -
CONTINGENCY (10%)	\$ 144,259.21	\$ -	\$ -	\$ -	\$ 144,259.21
TOTAL	\$ 1,586,851.26	\$ 39,060.00	\$ 1,201,542.05	\$ 1,240,602.05	\$ 346,249.21

CONSTRUCTION ITEMS		UNIT	QUANTITY	UNIT COST	TOTAL COST	CURRENT REQUEST		PRIOR REQUESTS		TOTAL REQUESTS (incl. current release)		AVAILABLE FOR RELEASE (incl. current release)	
						QTY	COST	QTY	COST	QTY	COST	QTY	COST
Bio-Retention Area BIO 3		2,760	SF										
20.	Type M Inlet	EA	1	\$ 2,000.00	\$ 2,000.00	\$ -		1.00	\$ 2,000.00	1.00	\$ 2,000.00	\$ -	
21.	4 inch perf. PVC U-Drain	LF	65	\$ 20.00	\$ 1,300.00	\$ -		65.00	\$ 1,300.00	65.00	\$ 1,300.00	\$ -	
22.	DW Endwall	EA	1	\$ 1,350.00	\$ 1,350.00	\$ -		1.00	\$ 1,350.00	1.00	\$ 1,350.00	\$ -	
23.	R-4 Rip rap	LS	1	\$ 775.00	\$ 775.00	\$ -		1.00	\$ 775.00	1.00	\$ 775.00	\$ -	
24.	Amended Soil	CY	204	\$ 8.00	\$ 1,632.00	\$ -		204.00	\$ 1,632.00	204.00	\$ 1,632.00	\$ -	
25.	Bio-Retention Seeding (ERNMX-180)	SF	2,760	\$ 0.15	\$ 414.00	\$ -		2,760.00	\$ 414.00	2,760.00	\$ 414.00	\$ -	
Bio-Retention Area BIO 4		525	SF										
26.	Type M Inlet	EA	1	\$ 2,000.00	\$ 2,000.00	\$ -		1.00	\$ 2,000.00	1.00	\$ 2,000.00	\$ -	
27.	4 inch perf. PVC U-Drain	LF	35	\$ 20.00	\$ 700.00	\$ -		35.00	\$ 700.00	35.00	\$ 700.00	\$ -	
28.	Amended Soil	CY	42	\$ 8.00	\$ 336.00	\$ -		42.00	\$ 336.00	42.00	\$ 336.00	\$ -	
29.	Bio-Retention Seeding (ERNMX-180)	SF	525	\$ 0.15	\$ 78.75	\$ -		525.00	\$ 78.75	525.00	\$ 78.75	\$ -	
Bio-Retention Area BIO 5		650	SF										
30.	Type M Inlet	EA	1	\$ 2,000.00	\$ 2,000.00	\$ -		1.00	\$ 2,000.00	1.00	\$ 2,000.00	\$ -	
31.	4 inch perf. PVC U-Drain	LF	30	\$ 20.00	\$ 600.00	\$ -		30.00	\$ 600.00	30.00	\$ 600.00	\$ -	
32.	Amended Soil	CY	48	\$ 8.00	\$ 384.00	\$ -		48.00	\$ 384.00	48.00	\$ 384.00	\$ -	
33.	AASHTO #3	CY	48	\$ 5.00	\$ 240.00	\$ -		48.00	\$ 240.00	48.00	\$ 240.00	\$ -	
34.	Geotextile	SF	1,526	\$ 0.25	\$ 381.50	\$ -		1,526.00	\$ 381.50	1,526.00	\$ 381.50	\$ -	
35.	Bio-Retention Seeding (ERNMX-180)	SF	650	\$ 0.15	\$ 97.50	\$ -		650.00	\$ 97.50	650.00	\$ 97.50	\$ -	
Bio-Retention Area BIO 6		590	SF										
36.	Type M Inlet	EA	1	\$ 2,000.00	\$ 2,000.00	\$ -		1.00	\$ 2,000.00	1.00	\$ 2,000.00	\$ -	
37.	4 inch perf. PVC U-Drain	LF	35	\$ 20.00	\$ 700.00	\$ -		35.00	\$ 700.00	35.00	\$ 700.00	\$ -	
38.	Amended Soil	CY	44	\$ 8.00	\$ 352.00	\$ -		44.00	\$ 352.00	44.00	\$ 352.00	\$ -	
39.	AASHTO #3	CY	38	\$ 5.00	\$ 190.00	\$ -		38.00	\$ 190.00	38.00	\$ 190.00	\$ -	
40.	Geotextile	SF	1,374	\$ 0.25	\$ 343.50	\$ -		1,374.00	\$ 343.50	1,374.00	\$ 343.50	\$ -	
41.	Bio-Retention Seeding (ERNMX-180)	SF	590	\$ 0.15	\$ 88.50	\$ -		590.00	\$ 88.50	590.00	\$ 88.50	\$ -	
Bio-Retention Area BIO 7		580	SF										
42.	Type M Inlet	EA	1	\$ 2,000.00	\$ 2,000.00	\$ -		1.00	\$ 2,000.00	1.00	\$ 2,000.00	\$ -	
43.	4 inch perf. PVC U-Drain	LF	25	\$ 20.00	\$ 500.00	\$ -		25.00	\$ 500.00	25.00	\$ 500.00	\$ -	
44.	Amended Soil	CY	43	\$ 8.00	\$ 344.00	\$ -		43.00	\$ 344.00	43.00	\$ 344.00	\$ -	
45.	Bio-Retention Seeding (ERNMX-180)	SF	580	\$ 0.15	\$ 87.00	\$ -		580.00	\$ 87.00	580.00	\$ 87.00	\$ -	
Bio-Retention Area BIO 8		812	SF										
46.	Type M Inlet	EA	1	\$ 2,000.00	\$ 2,000.00	\$ -		1.00	\$ 2,000.00	1.00	\$ 2,000.00	\$ -	
47.	4 inch perf. PVC U-Drain	LF	30	\$ 20.00	\$ 600.00	\$ -		30.00	\$ 600.00	30.00	\$ 600.00	\$ -	
48.	Amended Soil	CY	60	\$ 8.00	\$ 480.00	\$ -		60.00	\$ 480.00	60.00	\$ 480.00	\$ -	
49.	AASHTO #3	CY	68	\$ 5.00	\$ 340.00	\$ -		68.00	\$ 340.00	68.00	\$ 340.00	\$ -	
50.	Geotextile	SF	1,883	\$ 0.25	\$ 470.75	\$ -		1,883.00	\$ 470.75	1,883.00	\$ 470.75	\$ -	
51.	Bio-Retention Seeding (ERNMX-180)	SF	812	\$ 0.15	\$ 121.80	\$ -		812.00	\$ 121.80	812.00	\$ 121.80	\$ -	
Bio-Retention Area BIO 9		3,440	SF										
52.	Type M Inlet	EA	1	\$ 2,000.00	\$ 2,000.00	\$ -		1.00	\$ 2,000.00	1.00	\$ 2,000.00	\$ -	
53.	4 inch perf. PVC U-Drain	LF	35	\$ 20.00	\$ 700.00	\$ -		35.00	\$ 700.00	35.00	\$ 700.00	\$ -	
54.	Amended Soil	CY	255	\$ 8.00	\$ 2,040.00	\$ -		255.00	\$ 2,040.00	255.00	\$ 2,040.00	\$ -	
55.	Bio-Retention Seeding (ERNMX-180)	SF	3,440	\$ 0.15	\$ 516.00	\$ -		3,440.00	\$ 516.00	3,440.00	\$ 516.00	\$ -	



# ESCROW RELEASE NO.: 4

DATE PREPARED: 28-Aug-2023

PROJECT NAME: Meadows at Parkview	TOTAL ENG/INSP/LEGAL (CASH ESCROW): \$ 45,000.00	MONTGOMERY TOWNSHIP
DEVELOPER: Toll Mid-Atlantic L.P. Company, Inc.	TOTAL ADMINISTRATION (CASH ESCROW): \$ 5,000.00	TOWNSHIP NO.: LDS-679
ESCROW AGENT: International Fidelity Insurance Company		G&A PROJECT NO.: 2015-01173
TYPE OF SECURITY: Performance Bond	MAINTENANCE BOND AMOUNT (15%): \$ 216,388.81	AGREEMENT DATE: 31-Jul-2019

SUMMARY OF IMPROVEMENT ESCROW ACCOUNT	TOTAL COST	RELEASE REQUESTS			BALANCE
		CURRENT	PRIOR	TOTAL	
CONSTRUCTION	\$1,442,592.05	\$ 39,060.00	\$ 1,201,542.05	\$ 1,240,602.05	\$ 201,990.00
ANNUAL 10% CONSTRUCTION COST INCREASE (Balance as of MM/DD/YYYY = \$X.XX)	\$ -	\$ -	\$ -	\$ -	\$ -
CONTINGENCY (10%)	\$ 144,259.21	\$ -	\$ -	\$ -	\$ 144,259.21
TOTAL	\$ 1,586,851.26	\$ 39,060.00	\$ 1,201,542.05	\$ 1,240,602.05	\$ 346,249.21

CONSTRUCTION ITEMS	UNIT	QUANTITY	UNIT COST	TOTAL COST	CURRENT REQUEST		PRIOR REQUESTS		TOTAL REQUESTS (incl. current release)		AVAILABLE FOR RELEASE (incl. current release)	
					QTY	COST	QTY	COST	QTY	COST	QTY	COST
<b>Infiltration Trench A</b>	1,460.00	SF										
56. 18 inch perf. HDPE	LF	95	\$ 43.00	\$ 4,085.00	\$ -		95.00	\$ 4,085.00	95.00	\$ 4,085.00	\$ -	
57. 18 inch HDPE 45 deg.	EA	3	\$ 75.00	\$ 225.00	\$ -		3.00	\$ 225.00	3.00	\$ 225.00	\$ -	
58. 6 inch HDPE	LF	32	\$ 20.00	\$ 640.00	\$ -		32.00	\$ 640.00	32.00	\$ 640.00	\$ -	
59. 6 inch HDPE 45 deg.	EA	1	\$ 40.00	\$ 40.00	\$ -		1.00	\$ 40.00	1.00	\$ 40.00	\$ -	
60. Clean, Uniform Coarse Aggregate	2.50	CY	135	\$ 5.00	\$ 675.00		135.00	\$ 675.00	135.00	\$ 675.00	\$ -	
61. Geotextile	205.00	SF	3,433	\$ 0.25	\$ 858.25		3,433.00	\$ 858.25	3,433.00	\$ 858.25	\$ -	
62. Amended Soil	1.50	CY	81	\$ 8.00	\$ 648.00		81.00	\$ 648.00	81.00	\$ 648.00	\$ -	
<b>Extended Detention Trench 1</b>	1420	SF										
63. 8 inch perf. HDPE	LF	1,353	\$ 25.00	\$ 33,825.00	\$ -		1,353.00	\$ 33,825.00	1,353.00	\$ 33,825.00	\$ -	
64. Clean, Uniform Coarse Aggregate	4.33	CY	228	\$ 5.00	\$ 1,140.00		228.00	\$ 1,140.00	228.00	\$ 1,140.00	\$ -	
65. Geotextile	304.00	SF	4,156	\$ 0.25	\$ 1,039.00		4,156.00	\$ 1,039.00	4,156.00	\$ 1,039.00	\$ -	
66. Amended Soil	2.50	CY	131	\$ 8.00	\$ 1,048.00		131.00	\$ 1,048.00	131.00	\$ 1,048.00	\$ -	
<b>Convert Basin A from E&amp;S</b>												
67. Earthworks (dredge, grade)	SF	109,000	\$ 2.20	\$ 239,800.00	\$ -		109,000.00	\$ 239,800.00	109,000.00	\$ 239,800.00	\$ -	
68. Convert OCS	LS	1	\$ 7,500.00	\$ 7,500.00	\$ -		1.00	\$ 7,500.00	1.00	\$ 7,500.00	\$ -	
69. WQ Spillway	LF	75	\$ 55.00	\$ 4,125.00	\$ -		75.00	\$ 4,125.00	75.00	\$ 4,125.00	\$ -	
70. Permanent Vegetation	SF	190,000	\$ 0.15	\$ 28,500.00	\$ -		190,000.00	\$ 28,500.00	190,000.00	\$ 28,500.00	\$ -	
71. Basin As-Built	LS	1	\$ 10,000.00	\$ 10,000.00	\$ -		1.00	\$ 10,000.00	1.00	\$ 10,000.00	\$ -	
<b>D. SANITARY SEWER</b>												
1. 8 inch SDR35 PVC	LF	1,500	\$ 30.00	\$ 45,000.00	\$ -		1,500.00	\$ 45,000.00	1,500.00	\$ 45,000.00	\$ -	
2. 6 inch SDR35 PVC - House Laterals/Connection/Cleanout	EA	42	\$ 700.00	\$ 29,400.00	\$ -		42.00	\$ 29,400.00	42.00	\$ 29,400.00	\$ -	
3. Manholes	EA	12	\$ 3,000.00	\$ 36,000.00	\$ -		12.00	\$ 36,000.00	12.00	\$ 36,000.00	\$ -	
4. Flush & televise 8 inch main	LF	1,500	\$ 3.00	\$ 4,500.00	\$ -		\$ -	\$ -	\$ -	\$ -	1,500.00	\$ 4,500.00
<b>E. SITE IMPROVEMENTS</b>												
1. Belgian Block Curb	LF	3,208	\$ 14.00	\$ 44,912.00	\$ -		3,208.00	\$ 44,912.00	3,208.00	\$ 44,912.00	\$ -	
2. Depressed Belgian Block Curb (inc. 2 - #5 rebar)	EA	42	\$ 400.00	\$ 16,800.00	\$ -		42.00	\$ 16,800.00	42.00	\$ 16,800.00	\$ -	
3. Concrete Sidewalk (5 ft wide, inc. stone)	SF	7,187	\$ 7.00	\$ 50,309.00	\$ -		7,187.00	\$ 50,309.00	7,187.00	\$ 50,309.00	\$ -	
4. Concrete Apron (5 ft wide, inc. stone & WWF)	EA	13	\$ 1,310.00	\$ 17,030.00	\$ -		13.00	\$ 17,030.00	13.00	\$ 17,030.00	\$ -	
5. ADA/PennDOT Compliant Ramp (inc. DWS)	EA	10	\$ 4,000.00	\$ 40,000.00	\$ -		10.00	\$ 40,000.00	10.00	\$ 40,000.00	\$ -	
6. Road - Fine Grade	SY	5,000	\$ 1.00	\$ 5,000.00	\$ -		5,000.00	\$ 5,000.00	5,000.00	\$ 5,000.00	\$ -	
7. Road - 2A Modified Stone Base, 3 in. Depth	SY	5,000	\$ 3.00	\$ 15,000.00	\$ -		5,000.00	\$ 15,000.00	5,000.00	\$ 15,000.00	\$ -	
8. Road - 25mm Base Course, 5 in. Depth	SY	5,000	\$ 15.00	\$ 75,000.00	\$ -		5,000.00	\$ 75,000.00	5,000.00	\$ 75,000.00	\$ -	
9. Road - Sweep & Tack Coat	SY	5,000	\$ 0.25	\$ 1,250.00	\$ -		\$ -	\$ -	\$ -	\$ -	5,000.00	\$ 1,250.00
10. Road - 9.5mm Wearing Course, 1.5 in. Depth	SY	5,000	\$ 8.50	\$ 42,500.00	\$ -		\$ -	\$ -	\$ -	\$ -	5,000.00	\$ 42,500.00
11. Enclave Blvd. - Mill, Tack, & Overlay (SR309 to Destiny Way)	SY	1,260	\$ 31.00	\$ 39,060.00	1,260.00	\$ 39,060.00	\$ -	\$ -	1,260.00	\$ 39,060.00	\$ -	



# ESCROW RELEASE NO.: 4

DATE PREPARED: 28-Aug-2023

PROJECT NAME: Meadows at Parkway	TOTAL ENG/INSP/LEGAL (CASH ESCROW): \$ 45,000.00	MONTGOMERY TOWNSHIP
DEVELOPER: Toll Mid-Atlantic L.P. Company, Inc.	TOTAL ADMINISTRATION (CASH ESCROW): \$ 5,000.00	TOWNSHIP NO.: LDS-679
ESCROW AGENT: International Fidelity Insurance Company		G&A PROJECT NO.: 2015-01173
TYPE OF SECURITY: Performance Bond	MAINTENANCE BOND AMOUNT (15%): \$ 216,388.81	AGREEMENT DATE: 31-Jul-2019

SUMMARY OF IMPROVEMENT ESCROW ACCOUNT	TOTAL COST	RELEASE REQUESTS			BALANCE
		CURRENT	PRIOR	TOTAL	
CONSTRUCTION	\$1,442,592.05	\$ 39,060.00	\$ 1,201,542.05	\$ 1,240,602.05	\$ 201,990.00
ANNUAL 10% CONSTRUCTION COST INCREASE (Balance as of MM/DD/YYYY = \$X.XX)	\$ -	\$ -	\$ -	\$ -	\$ -
CONTINGENCY (10%)	\$ 144,259.21	\$ -	\$ -	\$ -	\$ 144,259.21
TOTAL	\$ 1,586,851.26	\$ 39,060.00	\$ 1,201,542.05	\$ 1,240,602.05	\$ 346,249.21

CONSTRUCTION ITEMS					UNIT	QUANTITY	UNIT COST	TOTAL COST	CURRENT REQUEST		PRIOR REQUESTS		TOTAL REQUESTS (incl. current release)		AVAILABLE FOR RELEASE (incl. current release)				
									QTY	COST	QTY	COST	QTY	COST	QTY	COST			
F. <u>LANDSCAPING</u>																			
<i>Buffer Plantings, Shade Trees (3 - 3.5 inch cal.)</i>																			
1.	Acer saccharum (Sugar Maple)	EA	7	\$	600.00	\$	4,200.00		\$	-		\$	-		\$	-	7.00	\$	4,200.00
2.	Quercus coccinea (Scarlet Oak)	EA	8	\$	600.00	\$	4,800.00		\$	-		\$	-		\$	-	8.00	\$	4,800.00
3.	Liquidambar styraciflua (Sweetgum)	EA	8	\$	600.00	\$	4,800.00		\$	-		\$	-		\$	-	8.00	\$	4,800.00
4.	Nyssa sylvatica (Black Gum)	EA	7	\$	600.00	\$	4,200.00		\$	-		\$	-		\$	-	7.00	\$	4,200.00
<i>Buffer Plantings, Deciduous Shrubs (30 inch min.)</i>																			
5.	Itea virginica (Virginia Sweetgum)	EA	22	\$	90.00	\$	1,980.00		\$	-		\$	-		\$	-	22.00	\$	1,980.00
6.	Viburnum trilobum (American Cranberry Viburnum)	EA	22	\$	90.00	\$	1,980.00		\$	-		\$	-		\$	-	22.00	\$	1,980.00
<i>Buffer Plantings, Evergreen Shrubs (24 inch min.)</i>																			
7.	Hex glabra (Inkberry Holly)	EA	16	\$	90.00	\$	1,440.00		\$	-		\$	-		\$	-	16.00	\$	1,440.00
<i>Street Trees (3 - 3.5 inch cal.)</i>																			
8.	Acer saccharum (Sugar Maple)	EA	21	\$	600.00	\$	12,600.00		\$	-		\$	-		\$	-	21.00	\$	12,600.00
9.	Tilia cordata (Little Leaf Linden)	EA	20	\$	600.00	\$	12,000.00		\$	-		\$	-		\$	-	20.00	\$	12,000.00
10.	Quercus borealis (Northern Red Oak)	EA	20	\$	600.00	\$	12,000.00		\$	-		\$	-		\$	-	20.00	\$	12,000.00
<i>Individual Lot Planting, Shade Trees (3 - 3.5 inch cal.)</i>																			
11.	Quercus palustris (Pin Oak)	EA	14	\$	600.00	\$	8,400.00		\$	-		\$	-		\$	-	14.00	\$	8,400.00
12.	Quercus bicolor (Swamp White Oak)	EA	14	\$	600.00	\$	8,400.00		\$	-		\$	-		\$	-	14.00	\$	8,400.00
13.	Nyssa sylvatica (Black Gum)	EA	14	\$	600.00	\$	8,400.00		\$	-		\$	-		\$	-	14.00	\$	8,400.00
<i>Individual Lot Planting, Ornamental Trees (2.5 inch cal.)</i>																			
14.	Betula nigra (River Birch)	EA	28	\$	400.00	\$	11,200.00		\$	-		\$	-		\$	-	28.00	\$	11,200.00
15.	Cornus florida (Flowering Dogwood)	EA	28	\$	400.00	\$	11,200.00		\$	-		\$	-		\$	-	28.00	\$	11,200.00
16.	Magnolia virginiana (Sweetbay Magnolia)	EA	28	\$	400.00	\$	11,200.00		\$	-		\$	-		\$	-	28.00	\$	11,200.00
<i>Bio-Retention Plantings, Ornamental Trees (2.5 inch cal.)</i>																			
17.	Amelanchier canadensis (Shadbush Serviceberry)	EA	6	\$	400.00	\$	2,400.00		\$	-		\$	-		\$	-	6.00	\$	2,400.00
18.	Betula nigra (River Birch)	EA	5	\$	400.00	\$	2,000.00		\$	-		\$	-		\$	-	5.00	\$	2,000.00
<i>Bio-Retention Plantings, Shrubs (30 inch min.)</i>																			
19.	Hex glabra (Inkberry)	EA	28	\$	90.00	\$	2,520.00		\$	-		\$	-		\$	-	28.00	\$	2,520.00
20.	Ilex verticillata (Winterberry Holly)	EA	31	\$	90.00	\$	2,790.00		\$	-		\$	-		\$	-	31.00	\$	2,790.00
21.	Myrica pensylvanica (Northern Bayberry)	EA	32	\$	90.00	\$	2,880.00		\$	-		\$	-		\$	-	32.00	\$	2,880.00
<i>Parking Lot Plantings (3 - 3.5 inch cal.)</i>																			
22.	Nyssa sylvatica (Black Gum)	EA	2	\$	600.00	\$	1,200.00		\$	-		\$	-		\$	-	2.00	\$	1,200.00
<i>Replacement Evergreen Trees (8 - 10 feet ht.)</i>																			
23.	Abies concolor (White Fir)	EA	29	\$	550.00	\$	15,950.00		\$	-	28.00	\$	15,400.00	28.00	\$	15,400.00	1.00	\$	550.00
24.	Picea abies excelsa (Norway Spruce)	EA	28	\$	550.00	\$	15,400.00		\$	-	26.00	\$	14,300.00	26.00	\$	14,300.00	2.00	\$	1,100.00
25.	Pseudotsuga menziesii (Douglas Fir)	EA	32	\$	550.00	\$	17,600.00		\$	-	32.00	\$	17,600.00	32.00	\$	17,600.00		\$	-



**ESCROW RELEASE NO.: 4**  
DATE PREPARED: 28-Aug-2023

PROJECT NAME: <b>Meadows at Parkview</b>	TOTAL ENG/INSP/LEGAL (CASH ESCROW): \$ 45,000.00	<b>MONTGOMERY TOWNSHIP</b>
DEVELOPER: Toll Mid-Atlantic L.P. Company, Inc.	TOTAL ADMINISTRATION (CASH ESCROW): \$ 5,000.00	TOWNSHIP NO.: LDS-679
ESCROW AGENT: International Fidelity Insurance Company		G&A PROJECT NO.: 2015-01173
TYPE OF SECURITY: Performance Bond	MAINTENANCE BOND AMOUNT (15%): \$ 216,388.81	AGREEMENT DATE: 31-Jul-2019

SUMMARY OF IMPROVEMENT ESCROW ACCOUNT	TOTAL COST	RELEASE REQUESTS			BALANCE
		CURRENT	PRIOR	TOTAL	
CONSTRUCTION	\$1,442,592.05	\$ 39,060.00	\$ 1,201,542.05	\$ 1,240,602.05	\$ 201,990.00
ANNUAL 10% CONSTRUCTION COST INCREASE (Balance as of MM/DD/YYYY = \$X.XX)	\$ -	\$ -	\$ -	\$ -	\$ -
CONTINGENCY (10%)	\$ 144,259.21	\$ -	\$ -	\$ -	\$ 144,259.21
<b>TOTAL</b>	<b>\$ 1,586,851.26</b>	<b>\$ 39,060.00</b>	<b>\$ 1,201,542.05</b>	<b>\$ 1,240,602.05</b>	<b>\$ 346,249.21</b>

CONSTRUCTION ITEMS	UNIT	QUANTITY	UNIT COST	TOTAL COST	CURRENT REQUEST		PRIOR REQUESTS		TOTAL REQUESTS (incl. current release)		AVAILABLE FOR RELEASE (incl. current release)	
					QTY	COST	QTY	COST	QTY	COST	QTY	COST
<b>G. MISCELLANEOUS</b>												
1. Construction Stakeout	LS	1	\$ 15,000.00	\$ 15,000.00		\$ -	1.00	\$ 15,000.00	1.00	\$ 15,000.00		\$ -
2. Cluster Mailbox	EA	1	\$ 500.00	\$ 500.00		\$ -	1.00	\$ 500.00	1.00	\$ 500.00		\$ -
3. Regulatory & Warning Signs	EA	9	\$ 250.00	\$ 2,250.00		\$ -	9.00	\$ 2,250.00	9.00	\$ 2,250.00		\$ -
4. Street Lights (includes 1 spare)	EA	7	\$ 3,500.00	\$ 24,500.00		\$ -	6.00	\$ 21,000.00	6.00	\$ 21,000.00	1.00	\$ 3,500.00
5. Pavement Markings	LS	1	\$ 1,000.00	\$ 1,000.00		\$ -		\$ -		\$ -	1.00	\$ 1,000.00
6. As-Built Plans	LS	1	\$ 15,000.00	\$ 15,000.00		\$ -		\$ -		\$ -	1.00	\$ 15,000.00
<b>H. ANNUAL CONSTRUCTION COST INCREASE PER PA MPC \$509(h)</b>												
1. 10% Annual Construction Cost Increase (Balance as of MM/DD/YY - \$X.XX)	LS		\$ -	\$ -		\$ -		\$ -		\$ -		\$ -
<b>I. CONTINGENCY</b>												
1. 10% Contingency (Released upon certification of completion and receipt of Maintenance Bond)	LS	1	\$ 144,259.21	\$ 144,259.21		\$ -		\$ -		\$ -	1.00	\$ 144,259.21

**NOTES:**  
2019-08-06 Initial construction cost issued for Land Development Agreement.

# *Toll Brothers* LAND DEVELOPMENT

PAVING THE WAY FOR AMERICA'S LUXURY HOMEBUILDER

August 10, 2023

Montgomery Township  
1001 Stump Rd.  
Montgomeryville, PA 18936  
Attn: Bruce Shoupe

Via USPS Certified Mail #7018 0040 0000 4656 2407

Re: Meadows at Parkview, Montgomery Township, Montgomery County, Pa  
Performance Surety Reduction Request #4 – Bond # 0763306

RECEIVED

AUG 14 2023

MONTGOMERY TOWNSHIP

Dear Mr. Shoupe,

Pursuant to section 509 of the Pennsylvania Municipal planning code, Toll Brothers, Inc. respectfully requests decreasing bond # 0763306 in the amount of \$39,060.00, leaving the remaining posted as a balance. Attached please find a completed escrow release request with the noted improvements completed to date. If you have any questions, please contact me at 267-471-8497.

Thank you,



Thaddeus Craun

Land Development Manager

Toll Brothers, Inc.

8/10/2023

Request #4



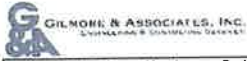
ESCROW RELEASE NO.: 3  
DATE PREPARED: 24-Jan-2023

PROJECT NAME: Meadows at Parkview  
DEVELOPER: Toll Mid-Atlantic L.P. Company, Inc.  
ESCROW AGENT: International Fidelity Insurance Company  
TYPE OF SECURITY: Performance Bond  
TOTAL ENGINEERING/LEGAL (CASH ESCROW): \$ 45,000.00  
TOTAL ADMINISTRATION (CASH ESCROW): \$ 5,000.00  
MONTGOMERY TOWNSHIP  
TOWNSHIP NO.: LDS-679  
G&A PROJECT NO.: 2015-01173  
AGREEMENT DATE: 31-Jul-2019  
MAINTENANCE BOND AMOUNT (15%): \$ 216,388.81

SUMMARY OF IMPROVEMENT ESCROW ACCOUNT	TOTAL COST	RELEASE REQUESTS			BALANCE
		CURRENT	PRIOR	TOTAL	
CONSTRUCTION	\$1,442,592.05	\$ 617,682.05	\$ 583,860.00	\$ 1,201,542.05	\$ 241,050.00
ANNUAL 10% CONSTRUCTION COST INCREASE (Balance as of MM/DD/YYYY = \$X.XX)	\$ -	\$ -	\$ -	\$ -	\$ -
CONTINGENCY (10%)	\$ 144,259.21	\$ -	\$ -	\$ -	\$ 144,259.21
TOTAL	\$ 1,586,851.26	\$ 617,682.05	\$ 583,860.00	\$ 1,201,542.05	\$ 385,309.21

CONSTRUCTION ITEMS					UNIT	QUANTITY	UNIT COST	TOTAL COST	CURRENT REQUEST		PRIOR REQUESTS		TOTAL REQUESTS (incl. current release)		AVAILABLE FOR RELEASE (incl. current release)	
									QTY	COST	QTY	COST	QTY	COST	QTY	COST
<b>A. SOIL EROSION AND SEDIMENT CONTROL</b>																
1.	Construction Entrance	EA	1	\$	2,500.00	\$	2,500.00		\$		1.00	\$	2,500.00	1.00	\$	2,500.00
2.	12 inch Filter Sock	LF	600	\$	3.95	\$	2,370.00		\$		600.00	\$	2,370.00	600.00	\$	2,370.00
3.	Silt Fence	LF	200	\$	2.00	\$	400.00		\$		200.00	\$	400.00	200.00	\$	400.00
4.	Tree Protection Fence	LF	1,600	\$	2.00	\$	3,200.00	1,600.00	\$	3,200.00		\$		1,600.00	\$	3,200.00
5.	Inlet Protection	EA	19	\$	115.00	\$	2,185.00		\$		19.00	\$	2,185.00	19.00	\$	2,185.00
6.	Temporary Seeding	SF	300,000	\$	0.04	\$	12,000.00	225,000.00	\$	9,000.00	75,000.00	\$	3,000.00	300,000.00	\$	12,000.00
7.	Remove E&S Measures	LS	1	\$	2,300.00	\$	2,300.00	1.00	\$	2,300.00		\$		1.00	\$	2,300.00
<b>B. EARTHWORK</b>																
1.	Site Grading	LS	1	\$	10,000.00	\$	10,000.00	0.75	\$	7,500.00	0.25	\$	2,500.00	1.00	\$	10,000.00
2.	Cut to Fill	LS	1	\$	30,000.00	\$	30,000.00	0.75	\$	22,500.00	0.25	\$	7,500.00	1.00	\$	30,000.00
3.	Retaining Wall	SF	700	\$	45.00	\$	31,500.00	700.00	\$	31,500.00		\$		700.00	\$	31,500.00
4.	Fall Protection Fence	LF	95	\$	40.00	\$	3,800.00	95.00	\$	3,800.00		\$		95.00	\$	3,800.00
5.	Topsoil Return (inc. soil amendment)	CY	4,000	\$	7.00	\$	28,000.00	4,000.00	\$	28,000.00		\$		4,000.00	\$	28,000.00
<b>C. STORMWATER</b>																
<b>Storm Sewer</b>																
1.	15 in. HDPE (inc. PennDOT 2B backfill)	LF	1,102	\$	48.00	\$	52,896.00		\$		1,102.00	\$	52,896.00	1,102.00	\$	52,896.00
2.	18 in. HDPE (inc. PennDOT 2B backfill)	LF	640	\$	60.00	\$	38,400.00		\$		640.00	\$	38,400.00	640.00	\$	38,400.00
3.	24 in. HDPE (inc. PennDOT 2B backfill)	LF	217	\$	71.00	\$	15,407.00		\$		217.00	\$	15,407.00	217.00	\$	15,407.00
4.	30 in. HDPE (inc. PennDOT 2B backfill)	LF	311	\$	90.00	\$	27,990.00		\$		311.00	\$	27,990.00	311.00	\$	27,990.00
5.	36 in. HDPE (inc. PennDOT 2B backfill)	LF	190	\$	105.00	\$	19,950.00		\$		190.00	\$	19,950.00	190.00	\$	19,950.00
6.	Type M Inlet	EA	7	\$	2,000.00	\$	14,000.00		\$		7.00	\$	14,000.00	7.00	\$	14,000.00
7.	Type C Inlet	EA	21	\$	2,000.00	\$	42,000.00		\$		21.00	\$	42,000.00	21.00	\$	42,000.00
8.	Manhole	EA	8	\$	2,500.00	\$	20,000.00		\$		8.00	\$	20,000.00	8.00	\$	20,000.00
<b>Bio-Retention Area BIO 1</b>																
9.	Type M Inlet	EA	1	\$	2,000.00	\$	2,000.00		\$		1.00	\$	2,000.00	1.00	\$	2,000.00
10.	4 inch perf. PVC U-Drain	LF	100	\$	20.00	\$	2,000.00	100.00	\$	2,000.00		\$		100.00	\$	2,000.00
11.	Amended Soil	CY	214	\$	8.00	\$	1,712.00	214.00	\$	1,712.00		\$		214.00	\$	1,712.00
12.	AASHTO #3	CY	322	\$	5.00	\$	1,610.00	322.00	\$	1,610.00		\$		322.00	\$	1,610.00
13.	Geotextile	SF	6,801	\$	0.25	\$	1,700.25	6,801.00	\$	1,700.25		\$		6,801.00	\$	1,700.25
14.	Bio-Retention Seeding (ERNMX-180)	SF	2,895	\$	0.15	\$	434.25	2,895.00	\$	434.25		\$		2,895.00	\$	434.25
<b>Bio-Retention Area BIO 2</b>																
15.	2 x 2 Inlet	EA	1	\$	1,500.00	\$	1,500.00		\$		1.00	\$	1,500.00	1.00	\$	1,500.00
16.	4 inch perf. PVC U-Drain	LF	35	\$	20.00	\$	700.00	35.00	\$	700.00		\$		35.00	\$	700.00
17.	4 inch PVC	LF	82	\$	20.00	\$	1,640.00	82.00	\$	1,640.00		\$		82.00	\$	1,640.00
18.	Amended Soil	CY	67	\$	8.00	\$	536.00	67.00	\$	536.00		\$		67.00	\$	536.00
19.	Bio-Retention Seeding (ERNMX-180)	SF	800	\$	5.00	\$	4,000.00	800.00	\$	4,000.00		\$		800.00	\$	4,000.00





ESCROW RELEASE NO.: 34  
DATE PREPARED: 24-Jan-2023

PROJECT NAME: Meadows at Parkview  
DEVELOPER: Toll Mid-Atlantic L.P. Company, Inc.  
ESCROW AGENT: International Fidelity Insurance Company  
TYPE OF SECURITY: Performance Bond  
TOTAL ENGINEERING (CASH ESCROW): \$ 45,000.00  
TOTAL ADMINISTRATION (CASH ESCROW): \$ 5,000.00  
MONTGOMERY TOWNSHIP  
TOWNSHIP NO.: LDS-679  
G&A PROJECT NO.: 2015-01173  
AGREEMENT DATE: 31-Jul-2019  
MAINTENANCE BOND AMOUNT (15%): \$ 216,388.81

SUMMARY OF IMPROVEMENT ESCROW ACCOUNT	TOTAL COST	RELEASE REQUESTS			BALANCE
		CURRENT	PRIOR	TOTAL	
CONSTRUCTION	\$1,442,582.05	\$ 617,682.05	\$ 583,860.00	\$ 1,201,542.05	\$ 241,050.00
ANNUAL 10% CONSTRUCTION COST INCREASE (Balance as of MM/DD/YYYY = \$X.XX)	\$ -	\$ -	\$ -	\$ -	\$ -
CONTINGENCY (10%)	\$ 144,258.21	\$ -	\$ -	\$ -	\$ 144,259.21
TOTAL	\$ 1,586,851.26	\$ 617,682.05	\$ 583,860.00	\$ 1,201,542.05	\$ 385,309.21

CONSTRUCTION ITEMS	UNIT	QUANTITY	UNIT COST	TOTAL COST	CURRENT REQUEST		PRIOR REQUESTS		TOTAL REQUESTS (incl. current release)		AVAILABLE FOR RELEASE (incl. current release)	
					QTY	COST	QTY	COST	QTY	COST	QTY	COST
<b>Bio-Retention Area BIO 3</b>	2,760	SF										
20. Type M Inlet	EA	1	\$ 2,000.00	\$ 2,000.00		\$ -	1.00	\$ 2,000.00	1.00	\$ 2,000.00		\$ -
21. 4 inch perf. PVC U-Drain	LF	65	\$ 20.00	\$ 1,300.00	65.00	\$ 1,300.00		\$ -	65.00	\$ 1,300.00		\$ -
22. DW Endwall	EA	1	\$ 1,350.00	\$ 1,350.00		\$ -	1.00	\$ 1,350.00	1.00	\$ 1,350.00		\$ -
23. R-4 Rip rap	LS	1	\$ 775.00	\$ 775.00	1.00	\$ 775.00		\$ -	1.00	\$ 775.00		\$ -
24. Amended Soil	CY	204	\$ 8.00	\$ 1,632.00	204.00	\$ 1,632.00		\$ -	204.00	\$ 1,632.00		\$ -
25. Bio-Retention Seeding (ERNMX-180)	SF	2,760	\$ 0.15	\$ 414.00	2,760.00	\$ 414.00		\$ -	2,760.00	\$ 414.00		\$ -
<b>Bio-Retention Area BIO 4</b>	525	SF										
26. Type M Inlet	EA	1	\$ 2,000.00	\$ 2,000.00	1.00	\$ 2,000.00		\$ -	1.00	\$ 2,000.00		\$ -
27. 4 inch perf. PVC U-Drain	LF	35	\$ 20.00	\$ 700.00	35.00	\$ 700.00		\$ -	35.00	\$ 700.00		\$ -
28. Amended Soil	CY	42	\$ 8.00	\$ 336.00	42.00	\$ 336.00		\$ -	42.00	\$ 336.00		\$ -
29. Bio-Retention Seeding (ERNMX-180)	SF	525	\$ 0.15	\$ 78.75	525.00	\$ 78.75		\$ -	525.00	\$ 78.75		\$ -
<b>Bio-Retention Area BIO 5</b>	850	SF										
30. Type M Inlet	EA	1	\$ 2,000.00	\$ 2,000.00		\$ -	1.00	\$ 2,000.00	1.00	\$ 2,000.00		\$ -
31. 4 inch perf. PVC U-Drain	LF	30	\$ 20.00	\$ 600.00	30.00	\$ 600.00		\$ -	30.00	\$ 600.00		\$ -
32. Amended Soil	CY	48	\$ 8.00	\$ 384.00	48.00	\$ 384.00		\$ -	48.00	\$ 384.00		\$ -
33. AASHTO #3	CY	48	\$ 5.00	\$ 240.00	48.00	\$ 240.00		\$ -	48.00	\$ 240.00		\$ -
34. Geotextile	SF	1,526	\$ 0.25	\$ 381.50	1,526.00	\$ 381.50		\$ -	1,526.00	\$ 381.50		\$ -
35. Bio-Retention Seeding (ERNMX-180)	SF	650	\$ 0.15	\$ 97.50	650.00	\$ 97.50		\$ -	650.00	\$ 97.50		\$ -
<b>Bio-Retention Area BIO 6</b>	590	SF										
36. Type M Inlet	EA	1	\$ 2,000.00	\$ 2,000.00	1.00	\$ 2,000.00		\$ -	1.00	\$ 2,000.00		\$ -
37. 4 inch perf. PVC U-Drain	LF	35	\$ 20.00	\$ 700.00	35.00	\$ 700.00		\$ -	35.00	\$ 700.00		\$ -
38. Amended Soil	CY	44	\$ 8.00	\$ 352.00	44.00	\$ 352.00		\$ -	44.00	\$ 352.00		\$ -
39. AASHTO #3	CY	38	\$ 5.00	\$ 190.00	38.00	\$ 190.00		\$ -	38.00	\$ 190.00		\$ -
40. Geotextile	SF	1,374	\$ 0.25	\$ 343.50	1,374.00	\$ 343.50		\$ -	1,374.00	\$ 343.50		\$ -
41. Bio-Retention Seeding (ERNMX-180)	SF	590	\$ 0.15	\$ 88.50	590.00	\$ 88.50		\$ -	590.00	\$ 88.50		\$ -
<b>Bio-Retention Area BIO 7</b>	580	SF										
42. Type M Inlet	EA	1	\$ 2,000.00	\$ 2,000.00		\$ -	1.00	\$ 2,000.00	1.00	\$ 2,000.00		\$ -
43. 4 inch perf. PVC U-Drain	LF	25	\$ 20.00	\$ 500.00	25.00	\$ 500.00		\$ -	25.00	\$ 500.00		\$ -
44. Amended Soil	CY	43	\$ 8.00	\$ 344.00	43.00	\$ 344.00		\$ -	43.00	\$ 344.00		\$ -
45. Bio-Retention Seeding (ERNMX-180)	SF	580	\$ 0.15	\$ 87.00	580.00	\$ 87.00		\$ -	580.00	\$ 87.00		\$ -
<b>Bio-Retention Area BIO 8</b>	812	SF										
46. Type M Inlet	EA	1	\$ 2,000.00	\$ 2,000.00	1.00	\$ 2,000.00		\$ -	1.00	\$ 2,000.00		\$ -
47. 4 inch perf. PVC U-Drain	LF	30	\$ 20.00	\$ 600.00	30.00	\$ 600.00		\$ -	30.00	\$ 600.00		\$ -
48. Amended Soil	CY	60	\$ 8.00	\$ 480.00	60.00	\$ 480.00		\$ -	60.00	\$ 480.00		\$ -
49. AASHTO #3	CY	68	\$ 5.00	\$ 340.00	68.00	\$ 340.00		\$ -	68.00	\$ 340.00		\$ -
50. Geotextile	SF	1,883	\$ 0.25	\$ 470.75	1,883.00	\$ 470.75		\$ -	1,883.00	\$ 470.75		\$ -
51. Bio-Retention Seeding (ERNMX-180)	SF	812	\$ 0.15	\$ 121.80	812.00	\$ 121.80		\$ -	812.00	\$ 121.80		\$ -
<b>Bio-Retention Area BIO 9</b>	3,440	SF										
52. Type M Inlet	EA	1	\$ 2,000.00	\$ 2,000.00	1.00	\$ 2,000.00		\$ -	1.00	\$ 2,000.00		\$ -
53. 4 inch perf. PVC U-Drain	LF	35	\$ 20.00	\$ 700.00	35.00	\$ 700.00		\$ -	35.00	\$ 700.00		\$ -
54. Amended Soil	CY	255	\$ 8.00	\$ 2,040.00	255.00	\$ 2,040.00		\$ -	255.00	\$ 2,040.00		\$ -
55. Bio-Retention Seeding (ERNMX-180)	SF	3,440	\$ 0.15	\$ 516.00	3,440.00	\$ 516.00		\$ -	3,440.00	\$ 516.00		\$ -



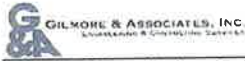
ESCROW RELEASE NO.: 3  
DATE PREPARED: 24-Jun-2023

PROJECT NAME: Meadows at Parkview  
DEVELOPER: Toll Mid-Atlantic L.P. Company, Inc.  
ESCROW AGENT: International Fidelity Insurance Company  
TYPE OF SECURITY: Performance Bond  
TOTAL ENG/INS/LEGAL (CASH ESCROW): \$ 45,000.00  
TOTAL ADMINISTRATION (CASH ESCROW): \$ 5,000.00  
MAINTENANCE BOND AMOUNT (15%): \$ 216,388.81  
MONTGOMERY TOWNSHIP  
TOWNSHIP NO.: LDS-679  
G&A PROJECT NO.: 2015-01173  
AGREEMENT DATE: 31-Jul-2019

SUMMARY OF IMPROVEMENT ESCROW ACCOUNT	TOTAL COST	RELEASE REQUESTS			BALANCE
		CURRENT	PRIOR	TOTAL	
CONSTRUCTION	\$1,442,592.05	\$ 617,682.05	\$ 583,860.00	\$ 1,201,542.05	\$ 241,050.00
ANNUAL 10% CONSTRUCTION COST INCREASE (Balance as of MM/DD/YYYY = \$X.XX)	\$ -	\$ -	\$ -	\$ -	\$ -
CONTINGENCY (10%)	\$ 144,259.21	\$ -	\$ -	\$ -	\$ 144,259.21
TOTAL	\$ 1,586,851.26	\$ 617,682.05	\$ 583,860.00	\$ 1,201,542.05	\$ 385,309.21

CONSTRUCTION ITEMS				CURRENT REQUEST		PRIOR REQUESTS		TOTAL REQUESTS (incl. current release)		AVAILABLE FOR RELEASE (incl. current release)	
UNIT	QUANTITY	UNIT COST	TOTAL COST	QTY	COST	QTY	COST	QTY	COST	QTY	COST
<b>Infiltration Trench A</b>											
56. 18 inch perf. HDPE	95	\$ 43.00	\$ 4,085.00	95.00	\$ 4,085.00		\$ -	95.00	\$ 4,085.00		\$ -
57. 18 inch HDPE 45 deg.	3	\$ 75.00	\$ 225.00	3.00	\$ 225.00		\$ -	3.00	\$ 225.00		\$ -
58. 6 inch HDPE	32	\$ 20.00	\$ 640.00	32.00	\$ 640.00		\$ -	32.00	\$ 640.00		\$ -
59. 6 inch HDPE 45 deg.	1	\$ 40.00	\$ 40.00	1.00	\$ 40.00		\$ -	1.00	\$ 40.00		\$ -
60. Clean, Uniform Coarse Aggregate	2.50	CY	135 \$ 5.00	\$ 675.00	135.00	\$ 675.00	\$ -	135.00	\$ 675.00		\$ -
61. Geotextile	206.00	SF	3,433 \$ 0.25	\$ 858.25	3,433.00	\$ 858.25	\$ -	3,433.00	\$ 858.25		\$ -
62. Amended Soil	1.50	CY	81 \$ 8.00	\$ 648.00	81.00	\$ 648.00	\$ -	81.00	\$ 648.00		\$ -
<b>Extended Detention Trench 1</b>											
63. 8 inch perf. HDPE	1420	LF	1,353 \$ 25.00	\$ 33,825.00	1,353.00	\$ 33,825.00	\$ -	1,353.00	\$ 33,825.00		\$ -
64. Clean, Uniform Coarse Aggregate	4.33	CY	228 \$ 5.00	\$ 1,140.00	228.00	\$ 1,140.00	\$ -	228.00	\$ 1,140.00		\$ -
65. Geotextile	304.00	SF	4,156 \$ 0.25	\$ 1,039.00	4,156.00	\$ 1,039.00	\$ -	4,156.00	\$ 1,039.00		\$ -
66. Amended Soil	2.50	CY	131 \$ 8.00	\$ 1,048.00	131.00	\$ 1,048.00	\$ -	131.00	\$ 1,048.00		\$ -
<b>Convert Basin A from E&amp;S</b>											
67. Earthworks (dredge, grade)		SF	109,000 \$ 2.20	\$ 239,800.00	109,000.00	\$ 239,800.00	\$ -	109,000.00	\$ 239,800.00		\$ -
68. Convert OCS		LS	1 \$ 7,500.00	\$ 7,500.00	1.00	\$ 7,500.00	\$ -	1.00	\$ 7,500.00		\$ -
69. WQ Spillway		LF	75 \$ 55.00	\$ 4,125.00	75.00	\$ 4,125.00	\$ -	75.00	\$ 4,125.00		\$ -
70. Permanent Vegetation		SF	190,000 \$ 0.15	\$ 28,500.00	190,000.00	\$ 28,500.00	\$ -	190,000.00	\$ 28,500.00		\$ -
71. Basin As-Built		LS	1 \$ 10,000.00	\$ 10,000.00	1.00	\$ 10,000.00	\$ -	1.00	\$ 10,000.00		\$ -
<b>D. SANITARY SEWER</b>											
1. 8 inch SDR35 PVC		LF	1,500 \$ 30.00	\$ 45,000.00		\$ -	1,500.00	\$ 45,000.00		\$ -	\$ -
2. 6 inch SDR35 PVC - House Laterals/Connection/Cleanout		EA	42 \$ 700.00	\$ 29,400.00		\$ -	42.00	\$ 29,400.00		\$ -	\$ -
3. Manholes		EA	12 \$ 3,000.00	\$ 36,000.00		\$ -	12.00	\$ 36,000.00		\$ -	\$ -
4. Flush & televise 8 inch main		LF	1,500 \$ 3.00	\$ 4,500.00		\$ -		\$ -		1,500.00	\$ 4,500.00
<b>E. SITE IMPROVEMENTS</b>											
1. Belgian Block Curb		LF	3,208 \$ 14.00	\$ 44,912.00		\$ -	3,208.00	\$ 44,912.00		\$ -	\$ -
2. Depressed Belgian Block Curb (inc. 2 - #5 rebar)		EA	42 \$ 400.00	\$ 16,800.00		\$ -	42.00	\$ 16,800.00		\$ -	\$ -
3. Concrete Sidewalk (5 ft wide, inc. stone)		SF	7,187 \$ 7.00	\$ 50,309.00	7,187.00	\$ 50,309.00	\$ -	7,187.00	\$ 50,309.00		\$ -
4. Concrete Apron (5 ft wide, inc. stone & WWF)		EA	13 \$ 1,310.00	\$ 17,030.00	13.00	\$ 17,030.00	\$ -	13.00	\$ 17,030.00		\$ -
5. ADA/PennDOT Compliant Ramp (inc. DWS)		EA	10 \$ 4,000.00	\$ 40,000.00	10.00	\$ 40,000.00	\$ -	10.00	\$ 40,000.00		\$ -
6. Road - Fine Grade		SY	5,000 \$ 1.00	\$ 5,000.00		\$ -	5,000.00	\$ 5,000.00		\$ -	\$ -
7. Road - 2A Modified Stone Base, 3 in. Depth		SY	5,000 \$ 3.00	\$ 15,000.00		\$ -	5,000.00	\$ 15,000.00		\$ -	\$ -
8. Road - 25mm Base Course, 5 in. Depth		SY	5,000 \$ 15.00	\$ 75,000.00		\$ -	5,000.00	\$ 75,000.00		\$ -	\$ -
9. Road - Sweep & Tack Coat		SY	5,000 \$ 0.25	\$ 1,250.00		\$ -		\$ -		5,000.00	\$ 1,250.00
10. Road - 9.5mm Wearing Course, 1.5 in. Depth		SY	5,000 \$ 8.50	\$ 42,500.00		\$ -		\$ -		5,000.00	\$ 42,500.00
11. Enclave Blvd. - Mill, Tack, & Overlay (SR309 to Destiny Way)		SY	1,260 \$ 31.00	\$ 39,060.00		\$ -		\$ -		1,260.00	\$ 39,060.00

1260 → \$ 39,060



ESCROW RELEASE NO.: 3  
DATE PREPARED: 24-Jan-2023

PROJECT NAME: Meadows at Parkway  
DEVELOPER: Toll Mid-Atlantic L.P. Company, Inc.  
ESCROW AGENT: International Fidelity Insurance Company  
TYPE OF SECURITY: Performance Bond  
TOTAL ENGINEERING/LEGAL (CASH ESCROW): \$ 45,000.00  
TOTAL ADMINISTRATION (CASH ESCROW): \$ 5,000.00  
MAINTENANCE BOND AMOUNT (15%): \$ 216,388.81  
MONTGOMERY TOWNSHIP  
TOWNSHIP NO.: LDS-679  
G&A PROJECT NO.: 2015-01173  
AGREEMENT DATE: 31-Jul-2019

SUMMARY OF IMPROVEMENT ESCROW ACCOUNT	TOTAL COST	RELEASE REQUESTS			BALANCE
		CURRENT	PRIOR	TOTAL	
CONSTRUCTION	\$1,442,592.05	\$ 617,682.05	\$ 583,860.00	\$ 1,201,542.05	\$ 241,050.00
ANNUAL 10% CONSTRUCTION COST INCREASE (Balance as of MM/DD/YYYY = \$X.XX)	\$ -	\$ -	\$ -	\$ -	\$ -
CONTINGENCY (10%)	\$ 144,259.21	\$ -	\$ -	\$ -	\$ 144,259.21
TOTAL	\$ 1,586,851.26	\$ 617,682.05	\$ 583,860.00	\$ 1,201,542.05	\$ 385,309.21

CONSTRUCTION ITEMS					UNIT	QUANTITY	UNIT COST	TOTAL COST	CURRENT REQUEST		PRIOR REQUESTS		TOTAL REQUESTS (incl. current release)		AVAILABLE FOR RELEASE (incl. current release)			
									QTY	COST	QTY	COST	QTY	COST	QTY	COST		
F. <u>LANDSCAPING</u>																		
<i>Buffer Plantings, Shade Trees (3 - 3.5 inch cal.)</i>																		
1.	Acer saccharum (Sugar Maple)	EA	7	\$	600.00	\$	4,200.00	\$	-		\$	-			7.00	\$	4,200.00	
2.	Quercus coccinea (Scarlet Oak)	EA	8	\$	600.00	\$	4,800.00	\$	-		\$	-			8.00	\$	4,800.00	
3.	Liquidambar styraciflua (Sweetgum)	EA	8	\$	600.00	\$	4,800.00	\$	-		\$	-			8.00	\$	4,800.00	
4.	Nyssa sylvatica (Black Gum)	EA	7	\$	600.00	\$	4,200.00	\$	-		\$	-			7.00	\$	4,200.00	
<i>Buffer Plantings, Deciduous Shrubs (30 inch min.)</i>																		
5.	Itea virginica (Virginia Sweetpire)	EA	22	\$	90.00	\$	1,980.00	\$	-		\$	-			22.00	\$	1,980.00	
6.	Viburnum trilobum (American Cranberry Viburnum)	EA	22	\$	90.00	\$	1,980.00	\$	-		\$	-			22.00	\$	1,980.00	
<i>Buffer Plantings, Evergreen Shrubs (24 inch min.)</i>																		
7.	Hex glabra (Inkberry Holly)	EA	16	\$	90.00	\$	1,440.00	\$	-		\$	-			16.00	\$	1,440.00	
<i>Street Trees (3 - 3.5 inch cal.)</i>																		
8.	Acer saccharum (Sugar Maple)	EA	21	\$	600.00	\$	12,600.00	\$	-		\$	-			21.00	\$	12,600.00	
9.	Tilia cordata (Little Leaf Linden)	EA	20	\$	600.00	\$	12,000.00	\$	-		\$	-			20.00	\$	12,000.00	
10.	Quercus borealis (Northern Red Oak)	EA	20	\$	600.00	\$	12,000.00	\$	-		\$	-			20.00	\$	12,000.00	
<i>Individual Lot Planting, Shade Trees (3 - 3.5 inch cal.)</i>																		
11.	Quercus palustris (Pin Oak)	EA	14	\$	600.00	\$	8,400.00	\$	-		\$	-			14.00	\$	8,400.00	
12.	Quercus bicolor (Swamp White Oak)	EA	14	\$	600.00	\$	8,400.00	\$	-		\$	-			14.00	\$	8,400.00	
13.	Nyssa sylvatica (Black Gum)	EA	14	\$	600.00	\$	8,400.00	\$	-		\$	-			14.00	\$	8,400.00	
<i>Individual Lot Planting, Ornamental Trees (2.5 inch cal.)</i>																		
14.	Betula nigra (River Birch)	EA	28	\$	400.00	\$	11,200.00	\$	-		\$	-			28.00	\$	11,200.00	
15.	Cornus florida (Flowering Dogwood)	EA	28	\$	400.00	\$	11,200.00	\$	-		\$	-			28.00	\$	11,200.00	
16.	Magnolia virginiana (Sweetbay Magnolia)	EA	28	\$	400.00	\$	11,200.00	\$	-		\$	-			28.00	\$	11,200.00	
<i>Bio-Retention Plantings, Ornamental Trees (2.5 inch cal.)</i>																		
17.	Amelanchier canadensis (Shadbush Serviceberry)	EA	6	\$	400.00	\$	2,400.00	\$	-		\$	-			6.00	\$	2,400.00	
18.	Betula nigra (River Birch)	EA	5	\$	400.00	\$	2,000.00	\$	-		\$	-			5.00	\$	2,000.00	
<i>Bio-Retention Plantings, Shrubs (30 inch min.)</i>																		
19.	Hex glabra (Inkberry)	EA	28	\$	90.00	\$	2,520.00	\$	-		\$	-			28.00	\$	2,520.00	
20.	Ilex verticillata (Winterberry Holly)	EA	31	\$	90.00	\$	2,790.00	\$	-		\$	-			31.00	\$	2,790.00	
21.	Myrica pensylvanica (Northern Bayberry)	EA	32	\$	90.00	\$	2,880.00	\$	-		\$	-			32.00	\$	2,880.00	
<i>Parking Lot Plantings (3 - 3.5 inch cal.)</i>																		
22.	Nyssa sylvatica (Black Gum)	EA	2	\$	600.00	\$	1,200.00	\$	-		\$	-			2.00	\$	1,200.00	
<i>Replacement Evergreen Trees (8 - 10 feet ht.)</i>																		
23.	Abies concolor (White Fir)	EA	29	\$	550.00	\$	15,950.00	\$	-	28.00	\$	15,400.00	28.00	\$	15,400.00	1.00	\$	550.00
24.	Picea abies excelsa (Norway Spruce)	EA	28	\$	550.00	\$	15,400.00	\$	-	26.00	\$	14,300.00	26.00	\$	14,300.00	2.00	\$	1,100.00
25.	Pseudotsuga menziesii (Douglas Fir)	EA	32	\$	550.00	\$	17,600.00	\$	-	32.00	\$	17,600.00	32.00	\$	17,600.00		\$	-



ESL..

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PROJECT NAME: Meadows at Parkview  
DEVELOPER: Toli Mid-Atlantic L.P. Company, Inc.  
ESCROW AGENT: International Fidelity Insurance Company  
TYPE OF SECURITY: Performance Bond

TOTAL ENGINEERING/LEGAL (CASH ESCROW): \$ 45,000.00  
TOTAL ADMINISTRATION (CASH ESCROW): \$ 5,000.00  
MAINTENANCE BOND AMOUNT (15%): \$ 216,388.81

MONTGOMERY  
TOWNSHIP NO.:  
G&A PROJECT NO.: 2015-011  
AGREEMENT DATE: 31-Jul-2019

SUMMARY OF IMPROVEMENT ESCROW ACCOUNT	TOTAL COST	RELEASE REQUESTS			BALANCE
		CURRENT	PRIOR	TOTAL	
CONSTRUCTION	\$1,442,592.05	\$ 617,682.05	\$ 583,860.00	\$ 1,201,542.05	\$ 241,050.00
ANNUAL 10% CONSTRUCTION COST INCREASE (Balance as of MM/DD/YYYY = \$X.XX)	\$ -	\$ -	\$ -	\$ -	\$ -
CONTINGENCY (10%)	\$ 144,259.21	\$ -	\$ -	\$ -	\$ 144,259.21
TOTAL	\$ 1,586,851.26	\$ 617,682.05	\$ 583,860.00	\$ 1,201,542.05	\$ 385,309.21

CONSTRUCTION ITEMS	UNIT	QUANTITY	UNIT COST	TOTAL COST	CURRENT REQUEST		PRIOR REQUESTS		TOTAL REQUESTS (incl. current release)		AVAILABLE FOR RELEASE (incl. current release)	
					QTY	COST	QTY	COST	QTY	COST	QTY	COST
G. MISCELLANEOUS												
1. Construction Stakeout	LS	1	\$ 15,000.00	\$ 15,000.00	0.50	\$ 7,500.00	0.50	\$ 7,500.00	1.00	\$ 15,000.00		\$ -
2. Cluster Mailbox	EA	1	\$ 500.00	\$ 500.00	1.00	\$ 500.00		\$ -	1.00	\$ 500.00		\$ -
3. Regulatory & Warning Signs	EA	9	\$ 250.00	\$ 2,250.00	9.00	\$ 2,250.00		\$ -	9.00	\$ 2,250.00		\$ -
4. Street Lights (includes 1 spare)	EA	7	\$ 3,500.00	\$ 24,500.00	6.00	\$ 21,000.00		\$ -	6.00	\$ 21,000.00	1.00	\$ 3,500.00
5. Pavement Markings	LS	1	\$ 1,000.00	\$ 1,000.00		\$ -		\$ -		\$ -	1.00	\$ 1,000.00
6. As-Built Plans	LS	1	\$ 15,000.00	\$ 15,000.00		\$ -		\$ -		\$ -	1.00	\$ 15,000.00
H. ANNUAL CONSTRUCTION COST INCREASE PER PA MPC \$509(h)												
1. 10% Annual Construction Cost Increase (Balance as of MM/DD/YYYY = \$X.XX)	LS		\$ -	\$ -		\$ -		\$ -		\$ -		\$ -
I. CONTINGENCY												
1. 10% Contingency (Released upon certification of completion and receipt of Maintenance Bond)	LS	1	\$ 144,259.21	\$ 144,259.21		\$ -		\$ -		\$ -	1.00	\$ 144,259.21

## NOTES:

2019-08-06

Initial construction cost issued for Land Development Agreement.

Total Request:

\$ 39,060.00

MONTGOMERY TOWNSHIP BOARD OF SUPERVISORS

**BOARD ACTION SUMMARY**

Item #05c

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SUBJECT: Consider Construction Escrow Release 6 – CSW Luxor VII  
Montgomeryville, L.P. – Westrum Montgomeryville - LDS 717  
MEETING DATE: September 11, 2023  
BOARD LIAISON: Candyce Fluehr Chimera, Chairwoman  
INITIATED BY: Marianne McConnell, Director of Planning and Zoning

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**BACKGROUND:**

Attached is a construction escrow release requested by CSW Luxor VII Montgomeryville, L.P. for Westrum Montgomeryville (415 Stump Road, North Wales) as recommended by the Township Engineer.

The original amount of the escrow was \$4,163,396.33, held as a Tri-Party Agreement with the Township. This is the sixth release and is in the amount of \$729,710.00. The new balance would be \$1,275,899.70.

**MOTION/RESOLUTION:**

**Motion** to authorize as part of the consent agenda



**GILMORE & ASSOCIATES, INC.**  
ENGINEERING & CONSULTING SERVICES

September 6, 2023

File No. 2015-04049-02

Carolyn McCreary, Township Manager  
Montgomery Township  
1001 Stump Road  
Montgomeryville, PA 18936-9605

Reference: Westrum Montgomeryville – 425 Stump Road – LDS#717  
Escrow Release 6

Dear Carolyn:

We have received and reviewed the Request for Escrow Release for the above-referenced project. This letter is to certify that the improvements noted on the enclosed escrow summary in the amount of \$729,710.00 have been completed. Please find enclosed a copy of our escrow calculations and the application for release of funds for your use.

The following items from the developer's requests were found to be incomplete or partially complete and are not included in the amount noted above: Erosion Control Blankets (A.7), Inlet Protection (A.8), Water Misc. (C.9), 18, 24, and 36 inch HDPE pipe (D.3, 4, & 5), Storm MH (D.7), Flared End Section (D.8), BMP #1 MRC Basin (D.10), 6 inch subbase (E.2), 25mm base course (E.4), Emergency Staging Area (E.8), Belgian Block Curb (F.1), and Traffic & Directional Signage (I.2).

Please be advised that these improvements will be subject to a final inspection prior to dedication and again at the end of the maintenance period. Any deficiencies will be required to be corrected by the developer.

Should you have any further questions or require any additional information, please do not hesitate to contact our office.

Sincerely,

James P. Dougherty, P.E.  
Senior Project Manager  
Gilmore & Associates, Inc.

JPD/

Enclosure: Release of Escrow Form (9/6/23), Summary of Improvement Escrow Account (9/6/23), Developer's Request (8/16/23)

cc: Marianne McConnell, Assistant Director of Planning and Zoning – Montgomery Township  
Mary Gambino, Project Coordinator – Montgomery Township  
Bill Wiegman, Director of Fire Services – Montgomery Township  
Sean Kilkenny, Esq., Solicitor – Kilkenny Law  
Michael Maier – Commerce Pursuit Capital, L.P. – Applicant  
Jon Herzog – Commerce Pursuit Capital, L.P. – Applicant  
Carrie B. Nase-Poust, Esq. – Fox Rothschild. LLP  
Anthony Caponigro, P.E. – Kimley-Horn and Associates, Inc.

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65 East Butler Avenue | Suite 100 | New Britain, PA 18901 | Phone: 215-345-4330 | Fax: 215-345-8606



## RELEASE OF ESCROW FORM

James P. Dougherty, P.E.  
Senior Project Manager  
Gilmore & Associates, Inc.  
65 East Butler Avenue, Suite 100  
New Britain, PA 18901  
215-345-4330

Date: 08/16/2023

**Development:** Westrum Montgomeryville - 415 Stump Road - LDS-717

**G&A Project #:** 2015-04049-02

**Release #:** 6

Dear Mr. Dougherty:

This is an escrow release request in the amount of \$985,771.00. Enclosed is a copy of our escrow spreadsheet with the quantities noted.


**ESCROW RELEASE REQUESTS ARE LIMITED TO ONE PER MONTH.**

Ms. Carolyn McCreary  
Township Manager  
Montgomery Township  
1001 Stump Road  
Montgomeryville, PA 18936

Date: 09/06/2023

Dear Ms. McCreary:

We have reviewed the developer's request for an escrow release. We therefore, recommend that \$729,710.00 be released. These improvements will be subject to a final observation prior to dedication and again at the end of the maintenance period. Any deficiencies will be required to be corrected by the developer.

 9/6/2023

James P. Dougherty, P.E., Senior Project Manager, Gilmore & Associates, Inc.

Resolution # \_\_\_\_\_

WHEREAS, a request for release of escrow was received from CSW Luxor VII Montgomeryville, L.P. for Westrum Montgomeryville - 415 Stump Road - LDS-717, in the amount of \$985,771.00, on the representation that work set forth in the Land Development Agreement to the extent has been completed and; WHEREAS, said request has been reviewed by the Township Engineer who recommends release of \$729,710.00; NOW, THEREFORE, BE IT RESOLVED by the Board of Supervisors of Montgomery Township that we do hereby authorize release of \$729,710.00; in accordance with the developer's request, and the officers of the Township are authorized to take the necessary action to obtain release of said sum.

BE IT FURTHER RESOLVED that Township records indicate that escrow has been deposited via Tri-Party Agreement with Montgomery Township in total sum of \$4,163,396.33 pursuant to a signed Land Development Agreement and that \$2,157,786.63 has previously been released from escrow. Therefore, the action of the Board releasing said sum leaves a new balance of \$1,275,899.70 in escrow.

MOTION BY: \_\_\_\_\_

VOTE: \_\_\_\_\_

SECOND BY: \_\_\_\_\_

DATED: \_\_\_\_\_

RELEASED BY: \_\_\_\_\_

Department Director



PROJECT NAME: <b>Westrum Montgomeryville - 415 Stump Road</b>	TOTAL ENG/INSP/LEGAL (CASH ESCROW): \$ 45,000.00	MONTGOMERY TOWNSHIP
DEVELOPER: CSW Luxor VII Montgomeryville, L.P.	TOTAL ADMINISTRATION (CASH ESCROW): \$ 5,000.00	TOWNSHIP NO.: LDS-717
ESCROW AGENT: Mid Penn Bank		G&A PROJECT NO.: 2015-04049-02
TYPE OF SECURITY: Tri-Party Agreement	MAINTENANCE BOND AMOUNT (15%): \$ 567,735.86	AGREEMENT DATE: 12-Sep-2022

SUMMARY OF IMPROVEMENT ESCROW ACCOUNT	TOTAL COST	RELEASE REQUESTS			BALANCE
		CURRENT	PRIOR	TOTAL	
CONSTRUCTION	\$3,784,905.75	\$ 729,710.00	\$ 2,068,703.25	\$ 2,798,413.25	\$ 986,492.50
ANNUAL 10% CONSTRUCTION COST INCREASE (Balance as of mm/dd/yyyy - \$x,xxx.xx)	\$ -	\$ -	\$ -	\$ -	\$ -
CONTINGENCY (10%)	\$ 378,490.58	\$ -	\$ 89,083.38	\$ 89,083.38	\$ 289,407.20
<b>TOTAL</b>	<b>\$ 4,163,396.33</b>	<b>\$ 729,710.00</b>	<b>\$ 2,157,786.63</b>	<b>\$ 2,887,496.63</b>	<b>\$ 1,275,899.70</b>

CONSTRUCTION ITEMS					UNIT	QUANTITY	UNIT COST	TOTAL COST	CURRENT REQUEST		PRIOR REQUESTS		TOTAL REQUESTS (incl. current release)		AVAILABLE FOR RELEASE (incl. current release)				
									QTY	COST	QTY	COST	QTY	COST	QTY	COST			
<b>A. SOIL EROSION AND SEDIMENT CONTROL</b>																			
1.	12" Silt Sock	LF	3,068	\$	8.00	\$	24,544.00		\$	-	3,068.00	\$	24,544.00	3,068.00	\$	24,544.00		\$	-
2.	18" Silt Sock	LF	209	\$	8.50	\$	1,776.50		\$	-	209.00	\$	1,776.50	209.00	\$	1,776.50		\$	-
3.	24" Silt Sock	LF	296	\$	9.00	\$	2,664.00		\$	-	296.00	\$	2,664.00	296.00	\$	2,664.00		\$	-
4.	CFS Sediment Trap	LF	363	\$	45.00	\$	16,335.00		\$	-	363.00	\$	16,335.00	363.00	\$	16,335.00		\$	-
5.	Rock Construction Entrance	EA	1		3,500.00	\$	3,500.00		\$	-	1.00	\$	3,500.00	1.00	\$	3,500.00		\$	-
6.	Concrete Washout	EA	1	\$	850.00	\$	850.00		\$	-	1.00	\$	850.00	1.00	\$	850.00		\$	-
7.	Erosion Control Blankets	SY	2,778	\$	2.25	\$	6,250.50		\$	-		\$	-		\$	-	2,778.00	\$	6,250.50
8.	Inlet Protection	EA	13	\$	150.00	\$	1,950.00		\$	-		\$	-		\$	-	13.00	\$	1,950.00
<b>B. EARTHWORK</b>																			
1.	Strip Topsoil and Stockpile/Remove	SY	27,500	\$	3.00	\$	82,500.00		\$	-	27,500.00	\$	82,500.00	27,500.00	\$	82,500.00		\$	-
2.	Cut Fill & Compact/Remove	CY	25,000		2.50	\$	62,500.00		\$	-	25,000.00	\$	62,500.00	25,000.00	\$	62,500.00		\$	-
3.	Rough Grade Site	SF	225,000	\$	0.75	\$	168,750.00		\$	-	225,000.00	\$	168,750.00	225,000.00	\$	168,750.00		\$	-
4.	Respread Topsoil	LS	1	\$	7,500.00	\$	7,500.00		\$	-		\$	-		\$	-	1.00	\$	7,500.00
<b>C. UTILITIES</b>																			
1.	6" PVC (With Backfill)	LF	38	\$	50.00	\$	1,900.00	38.00	\$	1,900.00		\$	-	38.00	\$	1,900.00		\$	-
2.	8" PVC (With Backfill)	LF	1,267	\$	75.00	\$	95,025.00	1,267.00	\$	95,025.00		\$	-	1,267.00	\$	95,025.00		\$	-
3.	Sewer Manhole	EA	9	\$	5,000.00	\$	45,000.00		\$	-	9.00	\$	45,000.00	9.00	\$	45,000.00		\$	-
4.	Sewer Testing/Televise	LS	1		3,500.00	\$	3,500.00		\$	-	1.00	\$	3,500.00	1.00	\$	3,500.00		\$	-
5.	4" DIP Water Line	LF	232	\$	40.00	\$	9,280.00	232.00	\$	9,280.00		\$	-	232.00	\$	9,280.00		\$	-
6.	6" DIP Water Line	LF	1,169	\$	60.00	\$	70,140.00	1,169.00	\$	70,140.00		\$	-	1,169.00	\$	70,140.00		\$	-
7.	8" DIP Water	LF	300	\$	75.00	\$	22,500.00	300.00	\$	22,500.00		\$	-	300.00	\$	22,500.00		\$	-
8.	Fire Hydrant	EA	1	\$	4,500.00	\$	4,500.00	1.00	\$	4,500.00		\$	-	1.00	\$	4,500.00		\$	-
9.	Water Misc.	LS	1	\$	10,000.00	\$	10,000.00	0.50	\$	5,000.00		\$	-	0.50	\$	5,000.00	0.50	\$	5,000.00
<b>D. STORMWATER</b>																			
1.	4" PVC	LF	548	\$	25.00	\$	13,700.00	548.00	\$	13,700.00		\$	-	548.00	\$	13,700.00		\$	-
2.	15" HDPE Pipe	LF	304	\$	40.00	\$	12,160.00	304.00	\$	12,160.00		\$	-	304.00	\$	12,160.00		\$	-
3.	18" HDPE Pipe	LF	219	\$	45.00	\$	9,855.00	178.00	\$	8,010.00		\$	-	178.00	\$	8,010.00	41.00	\$	1,845.00
4.	24" HDPE Pipe	LF	352	\$	55.00	\$	19,360.00	296.00	\$	16,280.00		\$	-	296.00	\$	16,280.00	56.00	\$	3,080.00
5.	36" HDPE Pipe	LF	79	\$	65.00	\$	5,135.00	26.00	\$	1,690.00		\$	-	26.00	\$	1,690.00	53.00	\$	3,445.00
6.	Storm Drain Structure- Onsite Type "C" Inlet	EA	13		2,500.00	\$	32,500.00	10.00	\$	25,000.00		\$	-	10.00	\$	25,000.00	3.00	\$	7,500.00
7.	Storm Drain Structure- Manhole	EA	11	\$	4,500.00	\$	49,500.00	10.00	\$	45,000.00		\$	-	10.00	\$	45,000.00	1.00	\$	4,500.00
8.	Flared End Sections	EA	1	\$	5,500.00	\$	5,500.00		\$	-		\$	-		\$	-	1.00	\$	5,500.00
9.	Outlet Structure	EA	3		12,000.00	\$	36,000.00	3.00	\$	36,000.00		\$	-	3.00	\$	36,000.00		\$	-
10.	BMP #1 MRC Bioretention Basin	LS	1	\$	65,000.00	\$	65,000.00	0.80	\$	52,000.00		\$	-	0.80	\$	52,000.00	0.20	\$	13,000.00
11.	BMP #2 Dry Extended Detention Basin (36" HDPE & Stone)	LS	1	\$	381,000.00	\$	381,000.00		\$	-	1.00	\$	381,000.00	1.00	\$	381,000.00		\$	-
12.	BMP #3 Dry Extended Detention Basin (36" HDPE & Stone)	LS	1	\$	287,000.00	\$	287,000.00		\$	-	1.00	\$	287,000.00	1.00	\$	287,000.00		\$	-
13.	Rip Rap	SY	25	\$	90.00	\$	2,250.00		\$	-		\$	-		\$	-	25.00	\$	2,250.00
14.	Bioretention Planting Soil	CY	293	\$	80.00	\$	23,440.00		\$	-		\$	-		\$	-	293.00	\$	23,440.00
15.	Bioretention Fence	LF	383	\$	35.00	\$	13,405.00		\$	-		\$	-		\$	-	383.00	\$	13,405.00
16.	Level Spreader	LF	147	\$	500.00	\$	73,500.00		\$	-		\$	-		\$	-	147.00	\$	73,500.00





PROJECT NAME: Westrum Montgomeryville - 415 Stump Road	TOTAL ENG/INSP/LEGAL (CASH ESCROW): \$ 45,000.00	MONTGOMERY TOWNSHIP
DEVELOPER: CSW Luxor VII Montgomeryville, L.P.	TOTAL ADMINISTRATION (CASH ESCROW): \$ 5,000.00	TOWNSHIP NO.: LDS-717
ESCROW AGENT: Mid Penn Bank		G&A PROJECT NO.: 2015-04049-02
TYPE OF SECURITY: Tri-Party Agreement	MAINTENANCE BOND AMOUNT (15%): \$ 567,735.86	AGREEMENT DATE: 12-Sep-2022

SUMMARY OF IMPROVEMENT ESCROW ACCOUNT	TOTAL COST	RELEASE REQUESTS			BALANCE
		CURRENT	PRIOR	TOTAL	
CONSTRUCTION	\$3,784,905.75	\$ 729,710.00	\$ 2,068,703.25	\$ 2,798,413.25	\$ 986,492.50
ANNUAL 10% CONSTRUCTION COST INCREASE (Balance as of mm/dd/yyyy - \$x,xxx.xx)	\$ -	\$ -	\$ -	\$ -	\$ -
CONTINGENCY (10%)	\$ 378,490.58	\$ -	\$ 89,083.38	\$ 89,083.38	\$ 289,407.20
TOTAL	\$ 4,163,396.33	\$ 729,710.00	\$ 2,157,786.63	\$ 2,887,496.63	\$ 1,275,899.70

CONSTRUCTION ITEMS	UNIT	QUANTITY	UNIT COST	TOTAL COST	CURRENT REQUEST		PRIOR REQUESTS		TOTAL REQUESTS (incl. current release)		AVAILABLE FOR RELEASE (incl. current release)	
					QTY	COST	QTY	COST	QTY	COST	QTY	COST
E. <u>PAVING AND PARKING AREA</u>												
1. Fine Grade Paving	SY	12,078	\$ 2.75	\$ 33,214.50	12,078.00	\$ 33,214.50	\$ -	\$ -	12,078.00	\$ 33,214.50	\$ -	\$ -
2. 6 in. 2A Subbase	SY	7,906	\$ 7.00	\$ 55,342.00	3,953.00	\$ 27,671.00	\$ -	\$ -	3,953.00	\$ 27,671.00	3,953.00	\$ 27,671.00
3. 8 in. 2A Subbase	SY	4,172	\$ 8.00	\$ 33,376.00	4,172.00	\$ 33,376.00	\$ -	\$ -	4,172.00	\$ 33,376.00	\$ -	\$ -
4. 1.5 in. 25mm Base Course	SY	12,078	\$ 18.00	\$ 217,404.00	3,623.00	\$ 65,214.00	\$ -	\$ -	3,623.00	\$ 65,214.00	8,455.00	\$ 152,190.00
5. Sweep and Tack Coat	SY	12,078	\$ 0.50	\$ 6,039.00		\$ -	\$ -	\$ -	\$ -	\$ -	12,078.00	\$ 6,039.00
6. 1.0 in. 9.5mm Wearing Course	SY	12,078	\$ 10.00	\$ 120,780.00		\$ -	\$ -	\$ -	\$ -	\$ -	12,078.00	\$ 120,780.00
7. Trail Paving	SY	115	\$ 30.00	\$ 3,450.00		\$ -	\$ -	\$ -	\$ -	\$ -	115.00	\$ 3,450.00
8. Proposed Emergency Staging Area	SF	3,246	\$ 6.50	\$ 21,099.00	1,623.00	\$ 10,549.50	\$ -	\$ -	1,623.00	\$ 10,549.50	1,623.00	\$ 10,549.50
9. Joint Seal	LS	1	\$ 2,500.00	\$ 2,500.00		\$ -	\$ -	\$ -	\$ -	\$ -	1.00	\$ 2,500.00
F. <u>CONCRETE AND PAVERS</u>												
1. Belgian Block Curb	LF	4,260	\$ 28.00	\$ 119,280.00	4,000.00	\$ 112,000.00	\$ -	\$ -	4,000.00	\$ 112,000.00	260.00	\$ 7,280.00
2. Concrete Sidewalk	SF	5,525	\$ 12.00	\$ 66,300.00		\$ -	\$ -	\$ -	\$ -	\$ -	5,525.00	\$ 66,300.00
3. Grass Pavers	SF	2,976	\$ 24.00	\$ 71,424.00		\$ -	\$ -	\$ -	\$ -	\$ -	2,976.00	\$ 71,424.00
4. ADA Ramps	EA	7	\$ 2,500.00	\$ 17,500.00		\$ -	\$ -	\$ -	\$ -	\$ -	7.00	\$ 17,500.00
G. <u>LANDSCAPING</u>												
1. Evergreen Trees	EA	83	\$ 550.00	\$ 45,650.00		\$ -	\$ -	\$ -	\$ -	\$ -	83.00	\$ 45,650.00
2. Deciduous Trees	EA	46	\$ 600.00	\$ 27,600.00		\$ -	\$ -	\$ -	\$ -	\$ -	46.00	\$ 27,600.00
3. Ornamental Trees	EA	36	\$ 400.00	\$ 14,400.00		\$ -	\$ -	\$ -	\$ -	\$ -	36.00	\$ 14,400.00
4. Evergreen Shrubs	EA	103	\$ 90.00	\$ 9,270.00		\$ -	\$ -	\$ -	\$ -	\$ -	103.00	\$ 9,270.00
5. Deciduous Shrubs	EA	138	\$ 90.00	\$ 12,420.00		\$ -	\$ -	\$ -	\$ -	\$ -	138.00	\$ 12,420.00
6. Ornamental Grasses	EA	280	\$ 15.00	\$ 4,200.00		\$ -	\$ -	\$ -	\$ -	\$ -	280.00	\$ 4,200.00
7. Steep Slope Landscaping - Sod	SF	10,981	\$ 0.35	\$ 3,843.35		\$ -	\$ -	\$ -	\$ -	\$ -	10,981.00	\$ 3,843.35
8. Steep Slope Landscaping - Gro-Low Sumac	EA	1,625	\$ 10.00	\$ 16,250.00		\$ -	\$ -	\$ -	\$ -	\$ -	1,625.00	\$ 16,250.00
9. Turf Grass Seeding	SF	35,002	\$ 0.10	\$ 3,500.20		\$ -	\$ -	\$ -	\$ -	\$ -	35,002.00	\$ 3,500.20
10. Mulch	SF	12,568	\$ 0.30	\$ 3,770.40		\$ -	\$ -	\$ -	\$ -	\$ -	12,568.00	\$ 3,770.40
11. Ernst Seed Mix - 180-1 (15lb/Acre or 0.0003 lb/SF)	SF	1,653	\$ 0.20	\$ 330.60		\$ -	\$ -	\$ -	\$ -	\$ -	1,653.00	\$ 330.60
12. PennDOT Formula L Seed Mix	SF	5,093	\$ 0.15	\$ 763.95		\$ -	\$ -	\$ -	\$ -	\$ -	5,093.00	\$ 763.95
H. <u>LIGHTING</u>												
1. On-site Light Fixtures	EA	18	\$ 4,500.00	\$ 81,000.00		\$ -	\$ -	\$ -	\$ -	\$ -	18.00	\$ 81,000.00
I. <u>MISCELLANEOUS</u>												
1. Construction Stakeout	LS	1	\$ 10,000.00	\$ 10,000.00	0.25	\$ 2,500.00	0.75	\$ 7,500.00	1.00	\$ 10,000.00	\$ -	\$ -
2. Traffic & Directional Signage	EA	21	\$ 300.00	\$ 6,300.00		\$ -	\$ -	\$ -	\$ -	\$ -	21.00	\$ 6,300.00
3. Pavement Striping	LS	1	\$ 15,000.00	\$ 15,000.00		\$ -	\$ -	\$ -	\$ -	\$ -	1.00	\$ 15,000.00
4. As-Built Plans	LS	1	\$ 10,000.00	\$ 10,000.00		\$ -	\$ -	\$ -	\$ -	\$ -	1.00	\$ 10,000.00
5. Post-Construction Traffic Study	LS	1	\$ 10,000.00	\$ 10,000.00		\$ -	\$ -	\$ -	\$ -	\$ -	1.00	\$ 10,000.00
6. Passenger Vehicle Wheel Stops	EA	20	\$ 125.00	\$ 2,500.00		\$ -	\$ -	\$ -	\$ -	\$ -	20.00	\$ 2,500.00
7. Retaining Wall	SF	1,206	\$ 75.00	\$ 90,450.00		\$ -	1,206.00	\$ 90,450.00	1,206.00	\$ 90,450.00	\$ -	\$ -
8. Retaining Wall Fencing	LF	238	\$ 50.00	\$ 11,900.00		\$ -	\$ -	\$ -	\$ -	\$ -	238.00	\$ 11,900.00
9. Pedestrian Fence	LF	1,427	\$ 35.00	\$ 49,945.00		\$ -	\$ -	\$ -	\$ -	\$ -	1,427.00	\$ 49,945.00
10. Emergency Access Drive	SY	540	\$ 50.00	\$ 27,000.00	540.00	\$ 27,000.00	\$ -	\$ -	540.00	\$ 27,000.00	\$ -	\$ -



PROJECT NAME:	Westrum Montgomeryville - 415 Stump Road	TOTAL ENG/INSP/LEGAL (CASH ESCROW):	\$ 45,000.00	MONTGOMERY TOWNSHIP
DEVELOPER:	CSW Luxor VII Montgomeryville, L.P.	TOTAL ADMINISTRATION (CASH ESCROW):	\$ 5,000.00	TOWNSHIP NO.: LDS-717
ESCROW AGENT:	Mid Penn Bank			G&A PROJECT NO.: 2015-04049-02
TYPE OF SECURITY:	Tri-Party Agreement	MAINTENANCE BOND AMOUNT (15%):	\$ 567,735.86	AGREEMENT DATE: 12-Sep-2022

SUMMARY OF IMPROVEMENT ESCROW ACCOUNT	TOTAL COST	RELEASE REQUESTS			BALANCE
		CURRENT	PRIOR	TOTAL	
CONSTRUCTION	\$3,784,905.75	\$ 729,710.00	\$ 2,068,703.25	\$ 2,798,413.25	\$ 986,492.50
ANNUAL 10% CONSTRUCTION COST INCREASE (Balance as of mm/dd/yyyy - \$x,xxx.xx)	\$ -	\$ -	\$ -	\$ -	\$ -
CONTINGENCY (10%)	\$ 378,490.58	\$ -	\$ 89,083.38	\$ 89,083.38	\$ 289,407.20
TOTAL	\$ 4,163,396.33	\$ 729,710.00	\$ 2,157,786.63	\$ 2,887,496.63	\$ 1,275,899.70

CONSTRUCTION ITEMS	UNIT	QUANTITY	UNIT COST	TOTAL COST	CURRENT REQUEST		PRIOR REQUESTS		TOTAL REQUESTS (incl. current release)		AVAILABLE FOR RELEASE (incl. current release)					
					QTY	COST	QTY	COST	QTY	COST	QTY	COST				
J. <u>HOP (Knapp Road &amp; Stump Road)</u>																
<u>SITE CLEARING &amp; DEMOLITION</u>																
1. Class 1 Excavation	CY	675	\$30.00	\$	20,250.00	\$	-	675.00	\$	20,250.00	675.00	\$	20,250.00	\$	-	
2. Class 1B Excavation	CY	627	\$60.00	\$	37,620.00	\$	-	627.00	\$	37,620.00	627.00	\$	37,620.00	\$	-	
<u>ROAD WORK</u>																
3. Plain Cement Concrete Curb	LF	1,740	\$	100.00	\$	174,000.00	\$	-	1,740.00	\$	174,000.00	1,740.00	\$	174,000.00	\$	-
4. 6" Subbase 2A	SY	950	\$	14.00	\$	13,300.00	\$	-	950.00	\$	13,300.00	950.00	\$	13,300.00	\$	-
5. Milling of Bituminous Pavement	SY	4,905	\$	5.00	\$	24,525.00	\$	-	4,905.00	\$	24,525.00	4,905.00	\$	24,525.00	\$	-
6. 1.5" Wearing Course, SRL-H	SY	6,388	\$	20.00	\$	127,760.00	\$	-	6,388.00	\$	127,760.00	6,388.00	\$	127,760.00	\$	-
7. 2.5" Binder Course	SY	950	\$	30.00	\$	28,500.00	\$	-	950.00	\$	28,500.00	950.00	\$	28,500.00	\$	-
8. 6" Base Course	SY	950	\$	60.00	\$	57,000.00	\$	-	950.00	\$	57,000.00	950.00	\$	57,000.00	\$	-
9. Class A Cement Concrete	SY	223	\$	50.00	\$	11,150.00	\$	-	223.00	\$	11,150.00	223.00	\$	11,150.00	\$	-
10. Detectable Warning Surfaces	SF	105	\$	60.00	\$	6,300.00	\$	-	105.00	\$	6,300.00	105.00	\$	6,300.00	\$	-
11. Tack Coat	SY	5,855	\$	0.50	\$	2,927.50	\$	-	5,855.00	\$	2,927.50	5,855.00	\$	2,927.50	\$	-
12. Type 31-S Guide Rail	LF	140	\$	55.00	\$	7,700.00	\$	-	140.00	\$	7,700.00	140.00	\$	7,700.00	\$	-
13. Relocate Fire Hydrant	EA	1	\$	7,500.00	\$	7,500.00	\$	-	1.00	\$	7,500.00	1.00	\$	7,500.00	\$	-
14. Utility Pole Relocations	EA	1	\$	25,000.00	\$	25,000.00	\$	-	1.00	\$	25,000.00	1.00	\$	25,000.00	\$	-
<u>PAVEMENT MARKINGS &amp; SIGNING</u>																
15. 4" White Hot Thermoplastic Pavement Marking	LF	445	\$	2.00	\$	890.00	\$	-	445.00	\$	890.00	445.00	\$	890.00	\$	-
16. 6" White Hot Thermoplastic Pavement Marking	LF	750	\$	3.00	\$	2,250.00	\$	-	750.00	\$	2,250.00	750.00	\$	2,250.00	\$	-
17. 24" White Hot Thermoplastic Pavement Marking	LF	530	\$	10.00	\$	5,300.00	\$	-	530.00	\$	5,300.00	530.00	\$	5,300.00	\$	-
18. 4" Yellow Hot Thermoplastic Pavement Marking	LF	3,360	\$	1.50	\$	5,040.00	\$	-	3,360.00	\$	5,040.00	3,360.00	\$	5,040.00	\$	-
19. 24" Yellow Hot Thermoplastic Pavement Marking	LF	252	\$	10.00	\$	2,520.00	\$	-	252.00	\$	2,520.00	252.00	\$	2,520.00	\$	-
20. White Hot Thermoplastic Pavement Marking Legend (Right)	EA	1	\$	175.00	\$	175.00	\$	-	1.00	\$	175.00	1.00	\$	175.00	\$	-
21. White Hot Thermoplastic Pavement Marking Legend (Only)	EA	4	\$	175.00	\$	700.00	\$	-	4.00	\$	700.00	4.00	\$	700.00	\$	-
22. White Hot Thermoplastic Pavement Marking Legend (Left)	EA	3	\$	175.00	\$	525.00	\$	-	3.00	\$	525.00	3.00	\$	525.00	\$	-
23. Sign Assembly	EA	11	\$	250.00	\$	2,750.00	\$	-	11.00	\$	2,750.00	11.00	\$	2,750.00	\$	-
<u>TRAFFIC SIGNAL</u>																
24. Traffic Signal Wiring	LF	1,525	\$	2.25	\$	3,431.25	\$	-	1,525.00	\$	3,431.25	1,525.00	\$	3,431.25	\$	-
25. Traffic Signal Conduit & Backfill	LF	825	\$	60.00	\$	49,500.00	\$	-	825.00	\$	49,500.00	825.00	\$	49,500.00	\$	-
26. Traffic Signal Junction Box, JB-27	EA	2	\$	650.00	\$	1,300.00	\$	-	2.00	\$	1,300.00	2.00	\$	1,300.00	\$	-
27. Traffic Signal Head, 3-Section (12" Lense)	EA	2	\$	825.00	\$	1,650.00	\$	-	2.00	\$	1,650.00	2.00	\$	1,650.00	\$	-
28. Traffic Signal Support, 14' Pedestral	EA	4	\$	7,500.00	\$	30,000.00	\$	-	4.00	\$	30,000.00	4.00	\$	30,000.00	\$	-
29. Accessible Pedestrian Push Button	EA	4	\$	1,250.00	\$	5,000.00	\$	-	4.00	\$	5,000.00	4.00	\$	5,000.00	\$	-
30. LED Countdown Ped Signal Heads	EA	4	\$	750.00	\$	3,000.00	\$	-	4.00	\$	3,000.00	4.00	\$	3,000.00	\$	-
31. Traffic Signal Signage, Structure Mounted	SF	34	\$	55.00	\$	1,870.00	\$	-	34.00	\$	1,870.00	34.00	\$	1,870.00	\$	-
<u>STORM DRAIN AND STORMWATER MANAGEMENT</u>																
32. 18" RCP Pipe	LF	414	\$	100.00	\$	41,400.00	\$	-	414.00	\$	41,400.00	414.00	\$	41,400.00	\$	-
33. Standard Inlet Box - Type C Top	EA	3	\$	3,000.00	\$	9,000.00	\$	-	3.00	\$	9,000.00	3.00	\$	9,000.00	\$	-
34. Type 5 Inlet Box - Type C Top	EA	1	\$	4,000.00	\$	4,000.00	\$	-	1.00	\$	4,000.00	1.00	\$	4,000.00	\$	-
35. Type 6 Inlet Box - Type C Top	EA	1	\$	5,000.00	\$	5,000.00	\$	-	1.00	\$	5,000.00	1.00	\$	5,000.00	\$	-
36. Storm Drain Structure- Manhole	EA	1	\$	4,500.00	\$	4,500.00	\$	-	1.00	\$	4,500.00	1.00	\$	4,500.00	\$	-



ESCROW RELEASE NO.: 6

DATE PREPARED: 6-Sep-2023

PROJECT NAME: <b>Westrum Montgomeryville - 415 Stump Road</b>	TOTAL ENG/INSP/LEGAL (CASH ESCROW): \$ 45,000.00	<b>MONTGOMERY TOWNSHIP</b>
DEVELOPER: CSW Luxor VII Montgomeryville, L.P.	TOTAL ADMINISTRATION (CASH ESCROW): \$ 5,000.00	TOWNSHIP NO.: LDS-717
ESCROW AGENT: Mid Penn Bank		G&A PROJECT NO.: 2015-04049-02
TYPE OF SECURITY: Tri-Party Agreement	MAINTENANCE BOND AMOUNT (15%): \$ 567,735.86	AGREEMENT DATE: 12-Sep-2022

SUMMARY OF IMPROVEMENT ESCROW ACCOUNT				RELEASE REQUESTS			BALANCE
				CURRENT	PRIOR	TOTAL	
CONSTRUCTION			\$3,784,905.75	\$ 729,710.00	\$ 2,068,703.25	\$ 2,798,413.25	\$ 986,492.50
ANNUAL 10% CONSTRUCTION COST INCREASE (Balance as of mm/dd/yyyy - \$x,xxx.xx)			\$ -	\$ -	\$ -	\$ -	\$ -
CONTINGENCY (10%)			\$ 378,490.58	\$ -	\$ 89,083.38	\$ 89,083.38	\$ 289,407.20
TOTAL			\$ 4,163,396.33	\$ 729,710.00	\$ 2,157,786.63	\$ 2,887,496.63	\$ 1,275,899.70

CONSTRUCTION ITEMS	UNIT	QUANTITY	UNIT COST	TOTAL COST	CURRENT REQUEST		PRIOR REQUESTS		TOTAL REQUESTS (incl. current release)		AVAILABLE FOR RELEASE (incl. current release)	
					QTY	COST	QTY	COST	QTY	COST	QTY	COST
<b>J. HOP (Knapp Road &amp; Stump Road)</b>												
<u>GENERAL ITEMS</u>												
37. Mobilization	LS	1	\$ 50,000.00	\$ 50,000.00		\$ -	1.00	\$ 50,000.00	1.00	\$ 50,000.00		\$ -
38. Stakeout	LS	1	\$ 7,500.00	\$ 7,500.00		\$ -	1.00	\$ 7,500.00	1.00	\$ 7,500.00		\$ -
39. Maintenance and Protection of Traffic	LS	1	\$ 100,000.00	\$ 100,000.00		\$ -	1.00	\$ 100,000.00	1.00	\$ 100,000.00		\$ -
40. Erosion & Sediment Control	LS	1	\$ 10,000.00	\$ 10,000.00		\$ -	1.00	\$ 10,000.00	1.00	\$ 10,000.00		\$ -
<b>K. ANNUAL CONSTRUCTION COST INCREASE PER PA MPC §509(h)</b>												
1. 10% Annual Construction Cost Increase (Balance as of mm/dd/yyyy - \$x,xxx.xx)	LS	1	\$ -	\$ -		\$ -		\$ -		\$ -	1.00	\$ -
<b>L. CONTINGENCY</b>												
1. 10% Contingency (SITE)	LS	1	\$ 289,407.20	\$ 289,407.20		\$ -		\$ -		\$ -	1.00	\$ 289,407.20
2. 10% Contingency (HOP)	LS	1	\$ 89,083.38	\$ 89,083.38		\$ -	1.00	\$ 89,083.38	1.00	\$ 89,083.38		\$ -
(Released upon certification of completion and receipt of Maintenance Bond)												

**NOTES:**

2022-09-09 Initial cost prepared for Agreements.  
2022-10-03 Release of HOP items held in escrow by PennDOT.

## Jim Dougherty

---

**From:** Joanne Wetzel <jwetzel@westrum.com>  
**Sent:** Wednesday, August 16, 2023 7:35 PM  
**To:** Jim Dougherty  
**Cc:** Jon Herzog  
**Subject:** Luxor Montgomeryville Twp Release #6 \$985,771  
**Attachments:** Escrow Release #6.xlsx

**Follow Up Flag:** Follow up  
**Due By:** Monday, August 28, 2023 9:00 AM  
**Flag Status:** Flagged

**Categories:** MontTwp-2015-04049-02-Westrum LDS717, MontTwp-2015-04049-Westrum-Hopkins Tract, MontTwp

Hey Jim,

It has been a while but we have been busy at the job site.

I am attaching Release #6. Could you please schedule an inspection & get it set on the Twp agenda when completed.

Thx. Let me know if you need anything else from us.



**Joanne Wetzel**

Assistant Controller

**WESTRUM DEVELOPMENT COMPANY** 

1300 Virginia Drive, Ste 215,

Fort Washington, PA 19034

(o) 215.283.2190 x107

**A LEADING RESIDENTIAL REAL ESTATE DEVELOPER**

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# DEVELOPER'S REQUEST

ESCROW RELEASE #:

6

DATE PREPARED: 16-Aug-2023

PROJECT NAME: Westrum Montgomeryville - 13-17 Bethlehem	TOTAL ENG/INSP/LEGAL (CASH ESCROW): \$ 45,000.00	MONTGOMERY TOWNSHIP
DEVELOPER: CSW Luxor VII Montgomeryville, L.P.	TOTAL ADMINISTRATION (CASH ESCROW): \$ 5,000.00	TOWNSHIP NO.: LDS-717
ESCROW AGENT: Mid Penn Bank		G&A PROJECT NO.: 2015-04049-02
TYPE OF SECURITY: Tri-Party Agreement	MAINTENANCE BOND AMOUNT (15%): \$ 567,735.86	AGREEMENT DATE: 12-Sep-2022

SUMMARY OF IMPROVEMENT ESCROW ACCOUNT					TOTAL COST		RELEASE REQUESTS				BALANCE					
					CURRENT		PRIOR		TOTAL							
CONSTRUCTION					\$3,784,905.75	\$ 985,771.00	\$ 2,068,703.25		\$ 3,054,474.25		\$ 730,431.50					
ANNUAL 10% CONSTRUCTION COST INCREASE (Balance as of mm/dd/yyyy - \$x,xxx.xx)					\$ -	\$ -	\$ -		\$ -		\$ -					
CONTINGENCY (10%)					\$ 378,490.58	\$ -	\$ 89,083.38		\$ 89,083.38		\$ 289,407.20					
TOTAL					\$ 4,163,396.33	\$ 985,771.00	\$ 2,157,786.63		\$ 3,143,557.63		\$ 1,019,838.70					
CONSTRUCTION ITEMS					UNIT	QUANTITY	UNIT COST	TOTAL COST	CURRENT REQUEST		PRIOR REQUESTS		TOTAL REQUESTS (incl. current release)		AVAILABLE FOR RELEASE (incl. current release)	
									QTY	COST	QTY	COST	QTY	COST	QTY	COST
A. SOIL EROSION AND SEDIMENT CONTROL																
1.	12" Silt Sock	LF	3,068	\$ 8.00	\$ 24,544.00		\$ -	3,068	\$ 24,544.00	3,068	\$ 24,544.00		\$ -			
2.	18" Silt Sock	LF	209	\$ 8.50	\$ 1,776.50		\$ -	209	\$ 1,776.50	209	\$ 1,776.50		\$ -			
3.	24" Silt Sock	LF	296	\$ 9.00	\$ 2,664.00		\$ -	296	\$ 2,664.00	296	\$ 2,664.00		\$ -			
4.	CFS Sediment Trap	LF	363	\$ 45.00	\$ 16,335.00		\$ -	363	\$ 16,335.00	363	\$ 16,335.00		\$ -			
5.	Rock Construction Entrance	EA	1	\$ 3,500.00	\$ 3,500.00		\$ -	1	\$ 3,500.00	1	\$ 3,500.00		\$ -			
6.	Concrete Washout	EA	1	\$ 850.00	\$ 850.00		\$ -	1	\$ 850.00	1	\$ 850.00		\$ -			
7.	Erosion Control Blankets	SY	2,778	\$ 2.25	\$ 6,250.50	2,778	\$ 6,250.50		\$ -	2,778	\$ 6,250.50		\$ -			
8.	Inlet Protection	EA	13	\$ 150.00	\$ 1,950.00	13	\$ 1,950.00		\$ -	13	\$ 1,950.00		\$ -			
B. EARTHWORK																
1.	Strip Topsoil and Stockpile/Remove	SY	27,500	\$ 3.00	\$ 82,500.00		\$ -	27,500	\$ 82,500.00	27,500	\$ 82,500.00		\$ -			
2.	Cut Fill & Compact/Remove	CY	25,000	\$ 2.50	\$ 62,500.00		\$ -	25,000	\$ 62,500.00	25,000	\$ 62,500.00		\$ -			
3.	Rough Grade Site	SF	225,000	\$ 0.75	\$ 168,750.00		\$ -	225,000	\$ 168,750.00	225,000	\$ 168,750.00		\$ -			
4.	Respread Topsoil	LS	1	\$ 7,500.00	\$ 7,500.00		\$ -		\$ -		\$ -	1	\$ 7,500.00			
C. UTILITIES																
1.	6" PVC (With Backfill)	LF	38	\$ 50.00	\$ 1,900.00	38	\$ 1,900.00		\$ -	38	\$ 1,900.00		\$ -			
2.	8" PVC (With Backfill)	LF	1,267	\$ 75.00	\$ 95,025.00	1,267	\$ 95,025.00		\$ -	1,267	\$ 95,025.00		\$ -			
3.	Sewer Manhole	EA	9	\$ 5,000.00	\$ 45,000.00		\$ -	9	\$ 45,000.00	9	\$ 45,000.00		\$ -			
4.	Sewer Testing/Televise	LS	1	\$ 3,500.00	\$ 3,500.00		\$ -	1	\$ 3,500.00	1	\$ 3,500.00		\$ -			
5.	4" DIP Water Line	LF	232	\$ 40.00	\$ 9,280.00	232	\$ 9,280.00		\$ -	232	\$ 9,280.00		\$ -			
6.	6" DIP Water Line	LF	1,169	\$ 60.00	\$ 70,140.00	1,169	\$ 70,140.00		\$ -	1,169	\$ 70,140.00		\$ -			
7.	8" DIP Water	LF	300	\$ 75.00	\$ 22,500.00	300	\$ 22,500.00		\$ -	300	\$ 22,500.00		\$ -			
8.	Fire Hydrant	EA	1	\$ 4,500.00	\$ 4,500.00	1	\$ 4,500.00		\$ -	1	\$ 4,500.00		\$ -			
9.	Water Misc.	LS	1	\$ 10,000.00	\$ 10,000.00	1	\$ 10,000.00		\$ -	1	\$ 10,000.00		\$ -			
D. STORMWATER																
1.	4" PVC	LF	548	\$ 25.00	\$ 13,700.00	548	\$ 13,700.00		\$ -	548	\$ 13,700.00		\$ -			
2.	15" HDPE Pipe	LF	304	\$ 40.00	\$ 12,160.00	304	\$ 12,160.00		\$ -	304	\$ 12,160.00		\$ -			
3.	18" HDPE Pipe	LF	219	\$ 45.00	\$ 9,855.00	219	\$ 9,855.00		\$ -	219	\$ 9,855.00		\$ -			
4.	24" HDPE Pipe	LF	352	\$ 55.00	\$ 19,360.00	352	\$ 19,360.00		\$ -	352	\$ 19,360.00		\$ -			
5.	36" HDPE Pipe	LF	79	\$ 65.00	\$ 5,135.00	79	\$ 5,135.00		\$ -	79	\$ 5,135.00		\$ -			
6.	Storm Drain Structure- Onsite Type "C" Inlet	EA	13	\$ 2,500.00	\$ 32,500.00	13	\$ 32,500.00		\$ -	13	\$ 32,500.00		\$ -			
7.	Storm Drain Structure- Manhole	EA	11	\$ 4,500.00	\$ 49,500.00	11	\$ 49,500.00		\$ -	11	\$ 49,500.00		\$ -			
8.	Flared End Sections	EA	1	\$ 5,500.00	\$ 5,500.00	1	\$ 5,500.00		\$ -	1	\$ 5,500.00		\$ -			
9.	Outlet Structure	EA	3	\$ 12,000.00	\$ 36,000.00	3	\$ 36,000.00		\$ -	3	\$ 36,000.00		\$ -			
10.	BMP #1 MRC Bioretention Basin	LS	1	\$ 65,000.00	\$ 65,000.00	1	\$ 65,000.00		\$ -	1	\$ 65,000.00		\$ -			
11.	BMP #2 Dry Extended Detention Basin (36" HDPE & Stone)	LS	1	\$ 381,000.00	\$ 381,000.00		\$ -	1	\$ 381,000.00	1	\$ 381,000.00		\$ -			
12.	BMP #3 Dry Extended Detention Basin (36" HDPE & Stone)	LS	1	\$ 287,000.00	\$ 287,000.00		\$ -	1	\$ 287,000.00	1	\$ 287,000.00		\$ -			
13.	Rip Rap	SY	25	\$ 90.00	\$ 2,250.00		\$ -		\$ -		\$ -	25	\$ 2,250.00			
14.	Bioretention Planting Soil	CY	293	\$ 80.00	\$ 23,440.00		\$ -		\$ -		\$ -	293	\$ 23,440.00			
15.	Bioretention Fence	LF	383	\$ 35.00	\$ 13,405.00		\$ -		\$ -		\$ -	383	\$ 13,405.00			
16.	Level Spreader	LF	147	\$ 500.00	\$ 73,500.00		\$ -		\$ -		\$ -	147	\$ 73,500.00			

# DEVELOPER'S REQUEST

ESCROW RELEASE #:

6

DATE PREPARED: 16-Aug-2023

PROJECT NAME: Westrum Montgomeryville - 13-17 Bethlehem	TOTAL ENG/INSP/LEGAL (CASH ESCROW): \$ 45,000.00	MONTGOMERY TOWNSHIP
DEVELOPER: CSW Luxor VII Montgomeryville, L.P.	TOTAL ADMINISTRATION (CASH ESCROW): \$ 5,000.00	TOWNSHIP NO.: LDS-717
ESCROW AGENT: Mid Penn Bank		G&A PROJECT NO.: 2015-04049-02
TYPE OF SECURITY: Tri-Party Agreement	MAINTENANCE BOND AMOUNT (15%): \$ 567,735.86	AGREEMENT DATE: 12-Sep-2022

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CONSTRUCTION	\$3,784,905.75	\$ 985,771.00	\$ 2,068,703.25	\$ 3,054,474.25	\$ 730,431.50
ANNUAL 10% CONSTRUCTION COST INCREASE (Balance as of mm/dd/yyyy - \$x,xxx.xx)	\$ -	\$ -	\$ -	\$ -	\$ -
CONTINGENCY (10%)	\$ 378,490.58	\$ -	\$ 89,083.38	\$ 89,083.38	\$ 289,407.20
TOTAL	\$ 4,163,396.33	\$ 985,771.00	\$ 2,157,786.63	\$ 3,143,557.63	\$ 1,019,838.70

	CONSTRUCTION ITEMS	UNIT	QUANTITY	UNIT COST	TOTAL COST	CURRENT REQUEST		PRIOR REQUESTS		TOTAL REQUESTS (incl. current release)		AVAILABLE FOR RELEASE (incl. current release)	
						QTY	COST	QTY	COST	QTY	COST	QTY	COST
E.	<b><u>PAVING AND PARKING AREA</u></b>												
	1. Fine Grade Paving	SY	12,078	\$ 2.75	\$ 33,214.50	12,078	\$ 33,214.50			12,078	\$ 33,214.50	\$ -	
	2. 6 in. 2A Subbase	SY	7,906	\$ 7.00	\$ 55,342.00	7,906	\$ 55,342.00			7,906	\$ 55,342.00	\$ -	
	3. 8 in. 2A Subbase	SY	4,172	\$ 8.00	\$ 33,376.00	4,172	\$ 33,376.00			4,172	\$ 33,376.00	\$ -	
	4. 1.5 in. 25mm Base Course	SY	12,078	\$ 18.00	\$ 217,404.00	12,078	\$ 217,404.00			12,078	\$ 217,404.00	\$ -	
	5. Sweep and Tack Coat	SY	12,078	\$ 0.50	\$ 6,039.00		\$ -				\$ -	12,078	\$ 6,039.00
	6. 1.0 in. 9.5mm Wearing Course	SY	12,078	\$ 10.00	\$ 120,780.00		\$ -				\$ -	12,078	\$ 120,780.00
	7. Trail Paving	SY	115	\$ 30.00	\$ 3,450.00		\$ -				\$ -	115	\$ 3,450.00
	8. Proposed Emergency Staging Area	SF	3,246	\$ 6.50	\$ 21,099.00	3,246	\$ 21,099.00			3,246	\$ 21,099.00	\$ -	
	9. Joint Seal	LS	1	\$ 2,500.00	\$ 2,500.00		\$ -				\$ -	1	\$ 2,500.00
F.	<b><u>CONCRETE AND PAVERS</u></b>												
	1. Belgian Block Curb	LF	4,260	\$ 28.00	\$ 119,280.00	4,260	\$ 119,280.00			4,260	\$ 119,280.00	\$ -	
	2. Concrete Sidewalk	SF	5,525	\$ 12.00	\$ 66,300.00		\$ -				\$ -	5,525	\$ 66,300.00
	3. Grass Pavers	SF	2,976	\$ 24.00	\$ 71,424.00		\$ -				\$ -	2,976	\$ 71,424.00
	4. ADA Ramps	EA	7	\$ 2,500.00	\$ 17,500.00		\$ -				\$ -	7	\$ 17,500.00
G.	<b><u>LANDSCAPING</u></b>												
	1. Evergreen Trees	EA	83	\$ 550.00	\$ 45,650.00		\$ -				\$ -	83	\$ 45,650.00
	2. Deciduous Trees	EA	46	\$ 600.00	\$ 27,600.00		\$ -				\$ -	46	\$ 27,600.00
	3. Ornamental Trees	EA	36	\$ 400.00	\$ 14,400.00		\$ -				\$ -	36	\$ 14,400.00
	4. Evergreen Shrubs	EA	103	\$ 90.00	\$ 9,270.00		\$ -				\$ -	103	\$ 9,270.00
	5. Deciduous Shrubs	EA	138	\$ 90.00	\$ 12,420.00		\$ -				\$ -	138	\$ 12,420.00
	6. Ornamental Grasses	EA	280	\$ 15.00	\$ 4,200.00		\$ -				\$ -	280	\$ 4,200.00
	7. Steep Slope Landscaping - Sod	SF	10,981	\$ 0.35	\$ 3,843.35		\$ -				\$ -	10,981	\$ 3,843.35
	8. Steep Slope Landscaping - Gro-Low Sumac	EA	1,625	\$ 10.00	\$ 16,250.00		\$ -				\$ -	1,625	\$ 16,250.00
	9. Turf Grass Seeding	SF	35,002	\$ 0.10	\$ 3,500.20		\$ -				\$ -	35,002	\$ 3,500.20
	10. Mulch	SF	12,568	\$ 0.30	\$ 3,770.40		\$ -				\$ -	12,568	\$ 3,770.40
	11. Ernst Seed Mix - 180-1 (15lb/Acre or 0.0003 lb/SF)	SF	1,653	\$ 0.20	\$ 330.60		\$ -				\$ -	1,653	\$ 330.60
	12. PennDOT Formula L Seed Mix	SF	5,093	\$ 0.15	\$ 763.95		\$ -				\$ -	5,093	\$ 763.95
H.	<b><u>LIGHTING</u></b>												
	1. On-site Light Fixtures	EA	18	\$ 4,500.00	\$ 81,000.00		\$ -				\$ -	18	\$ 81,000.00
I.	<b><u>MISCELLANEOUS</u></b>												
	1. Construction Stakeout	LS	1	\$ 10,000.00	\$ 10,000.00	0	\$ 2,500.00	1	\$ 7,500.00	1	\$ 10,000.00	\$ -	
	2. Traffic & Directional Signage	EA	21	\$ 300.00	\$ 6,300.00	21	\$ 6,300.00			21	\$ 6,300.00	\$ -	
	3. Pavement Striping	LS	1	\$ 15,000.00	\$ 15,000.00		\$ -				\$ -	1	\$ 15,000.00
	4. As-Built Plans	LS	1	\$ 10,000.00	\$ 10,000.00		\$ -				\$ -	1	\$ 10,000.00
	5. Post-Construction Traffic Study	LS	1	\$ 10,000.00	\$ 10,000.00		\$ -				\$ -	1	\$ 10,000.00
	6. Passenger Vehicle Wheel Stops	EA	20	\$ 125.00	\$ 2,500.00		\$ -				\$ -	20	\$ 2,500.00
	7. Retaining Wall	SF	1,206	\$ 75.00	\$ 90,450.00		\$ -	1,206	\$ 90,450.00	1,206	\$ 90,450.00	\$ -	
	8. Retaining Wall Fencing	LF	238	\$ 50.00	\$ 11,900.00		\$ -				\$ -	238	\$ 11,900.00
	9. Pedestrian Fence	LF	1,427	\$ 35.00	\$ 49,945.00		\$ -				\$ -	1,427	\$ 49,945.00
	10. Emergency Access Drive	SY	540	\$ 50.00	\$ 27,000.00	540	\$ 27,000.00			540	\$ 27,000.00	\$ -	

# DEVELOPER'S REQUEST

ESCROW RELEASE #: 6  
DATE PREPARED: 16-Aug-2023

PROJECT NAME: Westrum Montgomeryville - 13-17 Bethlehem	TOTAL ENG/INSP/LEGAL (CASH ESCROW): \$ 45,000.00	MONTGOMERY TOWNSHIP
DEVELOPER: CSW Luxor VII Montgomeryville, L.P.	TOTAL ADMINISTRATION (CASH ESCROW): \$ 5,000.00	TOWNSHIP NO.: LDS-717
ESCROW AGENT: Mid Penn Bank		G&A PROJECT NO.: 2015-04049-02
TYPE OF SECURITY: Tri-Party Agreement	MAINTENANCE BOND AMOUNT (15%): \$ 567,735.86	AGREEMENT DATE: 12-Sep-2022

SUMMARY OF IMPROVEMENT ESCROW ACCOUNT	TOTAL COST	RELEASE REQUESTS			BALANCE
		CURRENT	PRIOR	TOTAL	
CONSTRUCTION	\$3,784,905.75	\$ 985,771.00	\$ 2,068,703.25	\$ 3,054,474.25	\$ 730,431.50
ANNUAL 10% CONSTRUCTION COST INCREASE (Balance as of mm/dd/yyyy - \$x,xxx.xx)	\$ -	\$ -	\$ -	\$ -	\$ -
CONTINGENCY (10%)	\$ 378,490.58	\$ -	\$ 89,083.38	\$ 89,083.38	\$ 289,407.20
TOTAL	\$ 4,163,396.33	\$ 985,771.00	\$ 2,157,786.63	\$ 3,143,557.63	\$ 1,019,838.70

CONSTRUCTION ITEMS					UNIT	QUANTITY	UNIT COST	TOTAL COST	CURRENT REQUEST		PRIOR REQUESTS		TOTAL REQUESTS (incl. current release)		AVAILABLE FOR RELEASE (incl. current release)			
									QTY	COST	QTY	COST	QTY	COST	QTY	COST		
J. <u>HOP (Knapp Road &amp; Stump Road)</u>																		
<u>SITE CLEARING &amp; DEMOLITION</u>																		
1.	Class 1 Excavation	CY	675	\$30.00	\$	20,250.00			\$	-	675	\$	20,250.00	675	\$	20,250.00	\$	-
2.	Class 1B Excavation	CY	627	\$60.00	\$	37,620.00			\$	-	627	\$	37,620.00	627	\$	37,620.00	\$	-
<u>ROAD WORK</u>																		
3.	Plain Cement Concrete Curb	LF	1,740	\$	100.00	\$	174,000.00		\$	-	1,740	\$	174,000.00	1,740	\$	174,000.00	\$	-
4.	6" Subbase 2A	SY	950	\$	14.00	\$	13,300.00		\$	-	950	\$	13,300.00	950	\$	13,300.00	\$	-
5.	Milling of Bituminous Pavement	SY	4,905	\$	5.00	\$	24,525.00		\$	-	4,905	\$	24,525.00	4,905	\$	24,525.00	\$	-
6.	1.5" Wearing Course, SRL-H	SY	6,388	\$	20.00	\$	127,760.00		\$	-	6,388	\$	127,760.00	6,388	\$	127,760.00	\$	-
7.	2.5" Binder Course	SY	950	\$	30.00	\$	28,500.00		\$	-	950	\$	28,500.00	950	\$	28,500.00	\$	-
8.	6" Base Course	SY	950	\$	60.00	\$	57,000.00		\$	-	950	\$	57,000.00	950	\$	57,000.00	\$	-
9.	Class A Cement Concrete	SY	223	\$	50.00	\$	11,150.00		\$	-	223	\$	11,150.00	223	\$	11,150.00	\$	-
10.	Detectable Warning Surfaces	SF	105	\$	60.00	\$	6,300.00		\$	-	105	\$	6,300.00	105	\$	6,300.00	\$	-
11.	Tack Coat	SY	5,855	\$	0.50	\$	2,927.50		\$	-	5,855	\$	2,927.50	5,855	\$	2,927.50	\$	-
12.	Type 31-S Guide Rail	LF	140	\$	55.00	\$	7,700.00		\$	-	140	\$	7,700.00	140	\$	7,700.00	\$	-
13.	Relocate Fire Hydrant	EA	1	\$	7,500.00	\$	7,500.00		\$	-	1	\$	7,500.00	1	\$	7,500.00	\$	-
14.	Utility Pole Relocations	EA	1	\$	25,000.00	\$	25,000.00		\$	-	1	\$	25,000.00	1	\$	25,000.00	\$	-
<u>PAVEMENT MARKINGS &amp; SIGNING</u>																		
15.	4" White Hot Thermoplastic Pavement Marking	LF	445	\$	2.00	\$	890.00		\$	-	445	\$	890.00	445	\$	890.00	\$	-
16.	6" White Hot Thermoplastic Pavement Marking	LF	750	\$	3.00	\$	2,250.00		\$	-	750	\$	2,250.00	750	\$	2,250.00	\$	-
17.	24" White Hot Thermoplastic Pavement Marking	LF	530	\$	10.00	\$	5,300.00		\$	-	530	\$	5,300.00	530	\$	5,300.00	\$	-
18.	4" Yellow Hot Thermoplastic Pavement Marking	LF	3,360	\$	1.50	\$	5,040.00		\$	-	3,360	\$	5,040.00	3,360	\$	5,040.00	\$	-
19.	24" Yellow Hot Thermoplastic Pavement Marking	LF	252	\$	10.00	\$	2,520.00		\$	-	252	\$	2,520.00	252	\$	2,520.00	\$	-
20.	White Hot Thermoplastic Pavement Marking Legend (Right)	EA	1	\$	175.00	\$	175.00		\$	-	1	\$	175.00	1	\$	175.00	\$	-
21.	White Hot Thermoplastic Pavement Marking Legend (Only)	EA	4	\$	175.00	\$	700.00		\$	-	4	\$	700.00	4	\$	700.00	\$	-
22.	White Hot Thermoplastic Pavement Marking Legend (Left)	EA	3	\$	175.00	\$	525.00		\$	-	3	\$	525.00	3	\$	525.00	\$	-
23.	Sign Assembly	EA	11	\$	250.00	\$	2,750.00		\$	-	11	\$	2,750.00	11	\$	2,750.00	\$	-
<u>TRAFFIC SIGNAL</u>																		
24.	Traffic Signal Wiring	LF	1,525	\$	2.25	\$	3,431.25		\$	-	1,525	\$	3,431.25	1,525	\$	3,431.25	\$	-
25.	Traffic Signal Conduit & Backfill	LF	825	\$	60.00	\$	49,500.00		\$	-	825	\$	49,500.00	825	\$	49,500.00	\$	-
26.	Traffic Signal Junction Box, JB-27	EA	2	\$	650.00	\$	1,300.00		\$	-	2	\$	1,300.00	2	\$	1,300.00	\$	-
27.	Traffic Signal Head, 3-Section (12" Lense)	EA	2	\$	825.00	\$	1,650.00		\$	-	2	\$	1,650.00	2	\$	1,650.00	\$	-
28.	Traffic Signal Support, 14' Pedestral	EA	4	\$	7,500.00	\$	30,000.00		\$	-	4	\$	30,000.00	4	\$	30,000.00	\$	-
29.	Accessible Pedestrian Push Button	EA	4	\$	1,250.00	\$	5,000.00		\$	-	4	\$	5,000.00	4	\$	5,000.00	\$	-
30.	LED Countdown Ped Signal Heads	EA	4	\$	750.00	\$	3,000.00		\$	-	4	\$	3,000.00	4	\$	3,000.00	\$	-
31.	Traffic Signal Signage, Structure Mounted	SF	34	\$	55.00	\$	1,870.00		\$	-	34	\$	1,870.00	34	\$	1,870.00	\$	-
<u>STORM DRAIN AND STORMWATER MANAGEMENT</u>																		
32.	18" RCP Pipe	LF	414	\$	100.00	\$	41,400.00		\$	-	414	\$	41,400.00	414	\$	41,400.00	\$	-
33.	Standard Inlet Box - Type C Top	EA	3	\$	3,000.00	\$	9,000.00		\$	-	3	\$	9,000.00	3	\$	9,000.00	\$	-
34.	Type 5 Inlet Box - Type C Top	EA	1	\$	4,000.00	\$	4,000.00		\$	-	1	\$	4,000.00	1	\$	4,000.00	\$	-
35.	Type 6 Inlet Box - Type C Top	EA	1	\$	5,000.00	\$	5,000.00		\$	-	1	\$	5,000.00	1	\$	5,000.00	\$	-
36.	Storm Drain Structure- Manhole	EA	1	\$	4,500.00	\$	4,500.00		\$	-	1	\$	4,500.00	1	\$	4,500.00	\$	-



# DEVELOPER'S REQUEST

ESCROW RELEASE #: 6  
DATE PREPARED: 16-Aug-2023

PROJECT NAME: Westrum Montgomeryville - 13-17 Bethlehem	TOTAL ENG/INSP/LEGAL (CASH ESCROW): \$ 45,000.00	MONTGOMERY TOWNSHIP
DEVELOPER: CSW Luxor VII Montgomeryville, L.P.	TOTAL ADMINISTRATION (CASH ESCROW): \$ 5,000.00	TOWNSHIP NO.: LDS-717
ESCROW AGENT: Mid Penn Bank		G&A PROJECT NO.: 2015-04049-02
TYPE OF SECURITY: Tri-Party Agreement	MAINTENANCE BOND AMOUNT (15%): \$ 567,735.86	AGREEMENT DATE: 12-Sep-2022

SUMMARY OF IMPROVEMENT ESCROW ACCOUNT	TOTAL COST	RELEASE REQUESTS			BALANCE
		CURRENT	PRIOR	TOTAL	
CONSTRUCTION	\$3,784,905.75	\$ 985,771.00	\$ 2,068,703.25	\$ 3,054,474.25	\$ 730,431.50
ANNUAL 10% CONSTRUCTION COST INCREASE (Balance as of mm/dd/yyyy - \$x,xxx.xx)	\$ -	\$ -	\$ -	\$ -	\$ -
CONTINGENCY (10%)	\$ 378,490.58	\$ -	\$ 89,083.38	\$ 89,083.38	\$ 289,407.20
TOTAL	\$ 4,163,396.33	\$ 985,771.00	\$ 2,157,786.63	\$ 3,143,557.63	\$ 1,019,838.70

CONSTRUCTION ITEMS					UNIT	QUANTITY	UNIT COST	TOTAL COST	CURRENT REQUEST		PRIOR REQUESTS		TOTAL REQUESTS (incl. current release)		AVAILABLE FOR RELEASE (incl. current release)			
									QTY	COST	QTY	COST	QTY	COST	QTY	COST		
<b>J. <u>HOP (Knapp Road &amp; Stump Road)</u></b>																		
<u>GENERAL ITEMS</u>																		
37. Mobilization	LS	1	\$	50,000.00	\$	50,000.00		\$	-	1	\$	50,000.00	1	\$	50,000.00	\$	-	
38. Stakeout	LS	1	\$	7,500.00	\$	7,500.00		\$	-	1	\$	7,500.00	1	\$	7,500.00	\$	-	
39. Maintenance and Protection of Traffic	LS	1	\$	100,000.00	\$	100,000.00		\$	-	1	\$	100,000.00	1	\$	100,000.00	\$	-	
40. Erosion & Sediment Control	LS	1	\$	10,000.00	\$	10,000.00		\$	-	1	\$	10,000.00	1	\$	10,000.00	\$	-	
<b>K. <u>ANNUAL CONSTRUCTION COST INCREASE PER PA MPC §509(h)</u></b>																		
1. 10% Annual Construction Cost Increase (Balance as of mm/dd/yyyy - \$x,xxx.xx)	LS	1	\$	-	\$	-		\$	-		\$	-		\$	-	1	\$	-
<b>L. <u>CONTINGENCY</u></b>																		
1. 10% Contingency (SITE)	LS	1	\$	289,407.20	\$	289,407.20		\$	-		\$	-		\$	-	1	\$	289,407.20
2. 10% Contingency (HOP)	LS	1	\$	89,083.38	\$	89,083.38		\$	-	1	\$	89,083.38	1	\$	89,083.38		\$	-
(Released upon certification of completion and receipt of Maintenance Bond)																		

## NOTES:

2022-09-09 Initial cost prepared for Agreements.  
2022-10-03 Release of HOP items held in escrow by PennDOT.



MONTGOMERY TOWNSHIP BOARD OF SUPERVISORS  
**BOARD ACTION SUMMARY**  
Item #05e

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SUBJECT:	Construction Escrow Release 1 – Higher Rock Residential Development LDS #721
MEETING DATE:	September 11, 2023
BOARD LIAISON:	Candyce Fluehr Chimera, Chairwoman
INITIATED BY:	Marianne McConnell, Director of Planning and Zoning

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**BACKGROUND:**

Attached is a construction escrow release requested by Higher Rock Residential Development as recommended by the Township Engineer.

The original amount of the escrow was \$1,089,079.09, held as a Letter of Credit with the Township. This is the first release and is in the amount of \$309,405.50. The new balance would be \$779,673.59.

**MOTION/RESOLUTION:**

**Motion** to authorize as part of the consent agenda



**GILMORE & ASSOCIATES, INC.**  
ENGINEERING & CONSULTING SERVICES

September 6, 2023

File No. 1607014.03

Carolyn McCreary, Manager  
Montgomery Township  
1001 Stump Road  
Montgomeryville, PA 18936-9605

Reference: Higher Rock Residential Development – LDS#721  
Escrow Release 1

Dear Carolyn:

We have received and reviewed the Request for Escrow Release for the above-referenced project. This letter is to certify that the improvements noted on the enclosed escrow summary in the amount of \$309,405.50 have been completed. Please find enclosed a copy of our escrow calculations and the application for release of funds for your use.

Please be advised that these improvements will be subject to a final inspection prior to dedication and again at the end of the maintenance period. Any deficiencies will be required to be corrected by the developer.

Should you have any further questions or require any additional information, please do not hesitate to contact our office.

Sincerely,

James P. Dougherty, P.E.  
Senior Project Manager  
Gilmore & Associates, Inc.

JPD/

Enclosure: Release of Escrow Form (9/6/23), Summary of Improvement Escrow Account (9/6/23), Developer's Request (8/29/23)

cc: Marianne McConnell, Assistant Director of Planning and Zoning  
Mary Gambino, Project Coordinator – Montgomery Township  
John Walko, Esq., Solicitor – Kilkenny Law  
Steve Shaffer, WB Homes, Inc.  
Judith Stern Goldstein, ASLA, R.L.A. – Gilmore & Associates, Inc.  
Damon Drummond, P.E., PTOE – Gilmore & Associates, Inc.

**RELEASE OF ESCROW FORM**

James P. Dougherty, P.E.  
Senior Project Manager  
Gilmore & Associates, Inc.  
65 East Butler Avenue, Suite 100  
New Britain, PA 18901  
215-345-4330

Date: 08/29/2023

**Development:** Higher Rock Residential Development - LDS-721

**G&A Project #:** 1607014.03

**Release #:** 1

Dear Mr. Dougherty:

This is an escrow release request in the amount of \$309,405.50. Enclosed is a copy of our escrow spreadsheet with the quantities noted.

**ESCROW RELEASE REQUESTS ARE LIMITED TO ONE PER MONTH.**

Ms. Carolyn McCreary  
Township Manager  
Montgomery Township  
1001 Stump Road  
Montgomeryville, PA 18936

Date: 09/06/2023

Dear Ms. McCreary

We have reviewed the developer's request for an escrow release. We therefore, recommend that \$309,405.50 be released. These improvements will be subject to a final observation prior to dedication and again at the end of the maintenance period. Any deficiencies will be required to be corrected by the developer.

James P. Dougherty 9/6/2023  
James P. Dougherty, P.E., Senior Project Manager, Gilmore & Associates, Inc.

Resolution # \_\_\_\_\_

WHEREAS, a request for release of escrow was received from Cavendish Acquisitions, LP by Riley Development GP., Corp., its sole GP for Higher Rock Residential Development - LDS-721, in the amount of \$309,405.50, on the representation that work set forth in the Land Development Agreement to the extent has been completed and; WHEREAS, said request has been reviewed by the Township Engineer who recommends release of \$309,405.50; NOW, THEREFORE, BE IT RESOLVED by the Board of Supervisors of Montgomery Township that we do hereby authorize release of \$309,405.50; in accordance with the developer's request, and the officers of the Township are authorized to take the necessary action to obtain release of said sum.  
BE IT FURTHER RESOLVED that Township records indicate that escrow has been deposited via Letter of Credit with Montgomery Township in total sum of \$1,089,079.09 pursuant to a signed Land Development Agreement and that \$0.00 has previously been released from escrow. Therefore, the action of the Board releasing said sum leaves a new balance of \$779,673.59 in escrow.

MOTION BY: \_\_\_\_\_

VOTE: \_\_\_\_\_

SECOND BY: \_\_\_\_\_

DATED: \_\_\_\_\_

RELEASED BY: \_\_\_\_\_

Department Director

PROJECT NAME:	<b>Higher Rock Residential Development</b>	TOTAL ENG/INSP/LEGAL (CASH ESCROW):	\$ 45,000.00	MONTGOMERY TOWNSHIP
DEVELOPER:	Cavendish Acquisitions, LP by Riley Development GP, Corp., its sole GP	TOTAL ADMINISTRATION (CASH ESCROW):	\$ 5,000.00	TOWNSHIP NO.: LDS-721
ESCROW AGENT:	M & T Bank			G&A PROJECT NO.: 1607014.03
TYPE OF SECURITY:	Letter of Credit	MAINTENANCE BOND AMOUNT (15%):	\$ 148,510.79	AGREEMENT DATE: 27-Apr-2023

SUMMARY OF IMPROVEMENT ESCROW ACCOUNT	TOTAL COST	RELEASE REQUESTS			BALANCE
		CURRENT	PRIOR	TOTAL	
CONSTRUCTION	\$ 990,071.90	\$ 309,405.50	\$ -	\$ 309,405.50	\$ 680,666.40
ANNUAL 10% CONSTRUCTION COST INCREASE (Balance as of mm/dd/yy = \$0.00)	\$ -	\$ -	\$ -	\$ -	\$ -
CONTINGENCY (10%)	\$ 99,007.19	\$ -	\$ -	\$ -	\$ 99,007.19
<b>TOTAL</b>	<b>\$ 1,089,079.09</b>	<b>\$ 309,405.50</b>	<b>\$ -</b>	<b>\$ 309,405.50</b>	<b>\$ 779,673.59</b>

CONSTRUCTION ITEMS					UNIT	QUANTITY	UNIT COST	TOTAL COST	CURRENT REQUEST		PRIOR REQUESTS		TOTAL REQUESTS (incl. current release)		AVAILABLE FOR RELEASE (incl. current release)			
									QTY	COST	QTY	COST	QTY	COST	QTY	COST		
<b>A. <u>EROSION CONTROL</u></b>																		
1.	12" Filter Sock	LF	512	\$	4.50	\$	2,304.00	512.00	\$	2,304.00	\$	-	512.00	\$	2,304.00	\$	-	
2.	12" Diversion Sock	LF	136	\$	5.00	\$	680.00	136.00	\$	680.00	\$	-	136.00	\$	680.00	\$	-	
3.	18" Diversion Sock	LF	121	\$	9.50	\$	1,149.50	121.00	\$	1,149.50	\$	-	121.00	\$	1,149.50	\$	-	
4.	Construction Entrance	LS	1	\$	3,500.00	\$	3,500.00	1.00	\$	3,500.00	\$	-	1.00	\$	3,500.00	\$	-	
5.	Inlet Protection	EA	19	\$	150.00	\$	2,850.00		\$	-	\$	-		\$	-	19.00	\$	2,850.00
6.	Safety / Tree Fence	LF	1368	\$	2.50	\$	3,420.00	1,368.00	\$	3,420.00	\$	-	1,368.00	\$	3,420.00	\$	-	
7.	Concrete Washout	EA	1	\$	750.00	\$	750.00		\$	-	\$	-		\$	-	1.00	\$	750.00
8.	Swale 1 - with Matting NAG SC150	LF	321	\$	6.50	\$	2,086.50		\$	-	\$	-		\$	-	321.00	\$	2,086.50
9.	Swale 2 - with Matting NAG SC150	LF	96	\$	6.50	\$	624.00		\$	-	\$	-		\$	-	96.00	\$	624.00
10.	Swale 3 - with Matting NAG SC150	LF	160	\$	6.50	\$	1,040.00		\$	-	\$	-		\$	-	160.00	\$	1,040.00
11.	Slope Protection Matting	SF	8988	\$	0.30	\$	2,696.40		\$	-	\$	-		\$	-	8,988.00	\$	2,696.40
12.	Temp Seed Stockpile	EA	1	\$	750.00	\$	750.00	1.00	\$	750.00	\$	-	1.00	\$	750.00	\$	-	
13.	Sed Trap 1 Excavation and Grading	LS	1	\$	4,500.00	\$	4,500.00	1.00	\$	4,500.00	\$	-	1.00	\$	4,500.00	\$	-	
14.	Sed Trap 1 Baffle Wall	LF	140	\$	27.50	\$	3,850.00		\$	-	\$	-		\$	-	140.00	\$	3,850.00
15.	Sed Trap 1 Temp 18" CMP Pipe	LF	30	\$	60.00	\$	1,800.00	30.00	\$	1,800.00	\$	-	30.00	\$	1,800.00	\$	-	
16.	Sed Trap 1 Anli Seep Collars	EA	2	\$	650.00	\$	1,300.00	2.00	\$	1,300.00	\$	-	2.00	\$	1,300.00	\$	-	
17.	Sed Trap 1 Temp Riser	EA	1	\$	3,000.00	\$	3,000.00	1.00	\$	3,000.00	\$	-	1.00	\$	3,000.00	\$	-	
18.	Sed Trap 1 Temp Seeding	SF	6400	\$	0.10	\$	640.00	6,400.00	\$	640.00	\$	-	6,400.00	\$	640.00	\$	-	
19.	E&S Maintenance and Removal	LS	1	\$	3,700.00	\$	3,700.00		\$	-	\$	-		\$	-	1.00	\$	3,700.00
<b>B. <u>EARTHWORK</u></b>																		
1.	Earthwork-Strip Topsoil 8"	CY	2244	\$	3.50	\$	7,854.00	2,244.00	\$	7,854.00	\$	-	2,244.00	\$	7,854.00	\$	-	
2.	Earthwork-Cut to Fill	CY	3986	\$	3.00	\$	11,958.00	1,993.00	\$	5,979.00	\$	-	1,993.00	\$	5,979.00	1,993.00	\$	5,979.00
3.	Earthwork-Return Topsoil 6"	CY	1248	\$	4.00	\$	4,992.00		\$	-	\$	-		\$	-	1,248.00	\$	4,992.00
4.	Sed Trap Removal-Desilt	LS	1	\$	1,500.00	\$	1,500.00		\$	-	\$	-		\$	-	1.00	\$	1,500.00
5.	Sed Trap Removal-Remove Temp Pipe and Riser	LS	1	\$	2,500.00	\$	2,500.00		\$	-	\$	-		\$	-	1.00	\$	2,500.00
6.	Sed Trap Removal-Remove Baffle	LS	1	\$	300.00	\$	300.00		\$	-	\$	-		\$	-	1.00	\$	300.00
7.	Sed Trap Removal-Excavation	LS	1	\$	3,500.00	\$	3,500.00		\$	-	\$	-		\$	-	1.00	\$	3,500.00
<b>C. <u>STORM SEWER</u></b>																		
1.	15 HDPE	LF	936	\$	55.00	\$	51,480.00		\$	-	\$	-		\$	-	936.00	\$	51,480.00
2.	18 HDPE	LF	84	\$	60.00	\$	5,040.00		\$	-	\$	-		\$	-	84.00	\$	5,040.00
3.	24 HDPE	LF	245	\$	75.00	\$	18,375.00	245.00	\$	18,375.00	\$	-	245.00	\$	18,375.00		\$	-
4.	8 PVC Roof Drain Header	LF	870	\$	35.00	\$	30,450.00		\$	-	\$	-		\$	-	870.00	\$	30,450.00
5.	Roof Drain Cleanout	EA	8	\$	100.00	\$	800.00		\$	-	\$	-		\$	-	8.00	\$	800.00
6.	4 ft C Inlet	EA	2	\$	2,500.00	\$	5,000.00		\$	-	\$	-		\$	-	2.00	\$	5,000.00
5.	4 ft M Double Inlet	EA	3	\$	3,850.00	\$	11,550.00		\$	-	\$	-		\$	-	3.00	\$	11,550.00
6.	4 ft M Inlet	EA	5	\$	2,350.00	\$	11,750.00		\$	-	\$	-		\$	-	5.00	\$	11,750.00
7.	Storm Manholes	EA	6	\$	3,000.00	\$	18,000.00	2.00	\$	6,000.00	\$	-	2.00	\$	6,000.00	4.00	\$	12,000.00
8.	Tie Into Existing Inlet	EA	1	\$	1,500.00	\$	1,500.00	1.00	\$	1,500.00	\$	-	1.00	\$	1,500.00		\$	-
9.	Rip Rap Aprons at Curb Breaks	EA	2	\$	850.00	\$	1,700.00		\$	-	\$	-		\$	-	2.00	\$	1,700.00

**ESCROW RELEASE NO.: 1**

DATE PREPARED: 6-Sep-2023

PROJECT NAME: **Higher Rock Residential Development** TOTAL ENG/INSP/LEGAL (CASH ESCROW): \$ 45,000.00  
DEVELOPER: Cavendish Acquisitions, LP by Riley Development GP., Corp., its sole GP TOTAL ADMINISTRATION (CASH ESCROW): \$ 5,000.00  
ESCROW AGENT: M & T Bank  
TYPE OF SECURITY: Letter of Credit MAINTENANCE BOND AMOUNT (15%): \$ 148,510.79

**MONTGOMERY TOWNSHIP**  
TOWNSHIP NO.: LDS-721  
G&A PROJECT NO.: 1607014.03  
AGREEMENT DATE: 27-Apr-2023

SUMMARY OF IMPROVEMENT ESCROW ACCOUNT	TOTAL COST	RELEASE REQUESTS			BALANCE
		CURRENT	PRIOR	TOTAL	
CONSTRUCTION	\$ 990,071.90	\$ 309,405.50	\$ -	\$ 309,405.50	\$ 680,666.40
ANNUAL 10% CONSTRUCTION COST INCREASE (Balance as of mm/dd/yy = \$0.00)	\$ -	\$ -	\$ -	\$ -	\$ -
CONTINGENCY (10%)	\$ 99,007.19	\$ -	\$ -	\$ -	\$ 99,007.19
<b>TOTAL</b>	<b>\$ 1,089,079.09</b>	<b>\$ 309,405.50</b>	<b>\$ -</b>	<b>\$ 309,405.50</b>	<b>\$ 779,673.59</b>

CONSTRUCTION ITEMS	UNIT	QUANTITY	UNIT COST	TOTAL COST	CURRENT REQUEST		PRIOR REQUESTS		TOTAL REQUESTS (incl. current release)		AVAILABLE FOR RELEASE (incl. current release)	
					QTY	COST	QTY	COST	QTY	COST	QTY	COST
C. <u>STORM SEWER</u>												
10. UG Basin - 60" Perf. HDPE	LF	611	\$ 150.00	\$ 91,650.00	611.00	\$ 91,650.00	\$ -	\$ -	611.00	\$ 91,650.00	\$ -	\$ -
11. UG Basin - 60" HDPE Fittings	EA	4	\$ 3,000.00	\$ 12,000.00	4.00	\$ 12,000.00	\$ -	\$ -	4.00	\$ 12,000.00	\$ -	\$ -
12. UG Basin - 6" Perf. Underdrain	LF	103	\$ 25.00	\$ 2,575.00	103.00	\$ 2,575.00	\$ -	\$ -	103.00	\$ 2,575.00	\$ -	\$ -
13. UG Basin - PADOT Type 2B Stone	CF	58000	\$ 0.50	\$ 29,000.00	58,000.00	\$ 29,000.00	\$ -	\$ -	58,000.00	\$ 29,000.00	\$ -	\$ -
14. UG Basin - 40mil Liner (top, bottom, and sides) 103.5x46.5x14	SF	13826	\$ 2.00	\$ 27,652.00	13,826.00	\$ 27,652.00	\$ -	\$ -	13,826.00	\$ 27,652.00	\$ -	\$ -
15. UG Basin - AASHTO Class 3 Non-Woven GT	SF	27652	\$ 1.00	\$ 27,652.00	27,652.00	\$ 27,652.00	\$ -	\$ -	27,652.00	\$ 27,652.00	\$ -	\$ -
16. UG Basin - Outlet Structure	EA	1	\$ 15,000.00	\$ 15,000.00	1.00	\$ 15,000.00	\$ -	\$ -	1.00	\$ 15,000.00	\$ -	\$ -
16. UG Basin - Storm Inlets	EA	4	\$ 5,250.00	\$ 21,000.00	4.00	\$ 21,000.00	\$ -	\$ -	4.00	\$ 21,000.00	\$ -	\$ -
17. UG Basin - Storm Manholes	EA	3	\$ 5,000.00	\$ 15,000.00	3.00	\$ 15,000.00	\$ -	\$ -	3.00	\$ 15,000.00	\$ -	\$ -
18. Flexstorm Inlet Filters	EA	13	\$ 1,250.00	\$ 16,250.00	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	13.00	\$ 16,250.00
D. <u>CONCRETE</u>												
SITE												
1. 18" Concrete Curb	LF	2078	\$ 18.50	\$ 38,443.00	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	2,078.00	\$ 38,443.00
2. Mountable Islands	LF	250	\$ 25.00	\$ 6,250.00	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	250.00	\$ 6,250.00
3. Sidewalks 4" th on 4" 2b Stone	SF	2404	\$ 6.00	\$ 14,424.00	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	2,404.00	\$ 14,424.00
4. Handicap Ramps inc. DWS	EA	2	\$ 2,500.00	\$ 5,000.00	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	2.00	\$ 5,000.00
5. ADA Turn Pads	EA	7	\$ 200.00	\$ 1,400.00	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	7.00	\$ 1,400.00
6. Driveway Aprons 6" th on 6" 2A	SF	4543	\$ 7.00	\$ 31,801.00	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	4,543.00	\$ 31,801.00
FIREHOUSE												
7. Firehouse-Cut/Strip Topsoil/rough grade	LS	1	\$ 1,500.00	\$ 1,500.00	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	1.00	\$ 1,500.00
8. Firehouse-5' Wide Sidewalk 4" th on 4" 2b Stone	SF	1830	\$ 15.00	\$ 27,450.00	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	1,830.00	\$ 27,450.00
9. Firehouse-Handicap Ramps inc DWS	EA	5	\$ 2,500.00	\$ 12,500.00	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	5.00	\$ 12,500.00
10. Firehouse-Curb Remove and Replace	LF	80	\$ 50.00	\$ 4,000.00	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	80.00	\$ 4,000.00
11. Firehouse-Blacktop Restoration	SF	145	\$ 25.00	\$ 3,625.00	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	145.00	\$ 3,625.00
12. Firehouse-Topsoil Rake & Seed	SF	1464	\$ 1.00	\$ 1,464.00	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	1,464.00	\$ 1,464.00
13. Firehouse-Crosswalks	EA	2	\$ 1,200.00	\$ 2,400.00	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	2.00	\$ 2,400.00
14. Firehouse-Stop Bar	EA	1	\$ 850.00	\$ 850.00	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	1.00	\$ 850.00
15. Firehouse-Traffic Control	LS	1	\$ 5,000.00	\$ 5,000.00	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	1.00	\$ 5,000.00
E. <u>PAVING &amp; SIGNS</u>												
1. Roadway-Fine Grade	SY	2746	\$ 1.50	\$ 4,119.00	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	2,746.00	\$ 4,119.00
2. Roadway-3" 2A Modified	SY	2746	\$ 6.50	\$ 17,849.00	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	2,746.00	\$ 17,849.00
3. Roadway-5" 25mm Binder PG 64-22	SY	2746	\$ 19.50	\$ 53,547.00	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	2,746.00	\$ 53,547.00
4. Parking-Fine Grade	SY	1445	\$ 1.50	\$ 2,167.50	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	1,445.00	\$ 2,167.50
5. Parking-3" 2A Modified	SY	1445	\$ 6.50	\$ 9,392.50	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	1,445.00	\$ 9,392.50
6. Parking-5" 25mm Binder PG 64-22	SY	1445	\$ 19.50	\$ 28,177.50	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	1,445.00	\$ 28,177.50
7. Roadway-1.5" 9.5mm Wearing PG 64-22	SY	2746	\$ 12.00	\$ 32,952.00	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	2,746.00	\$ 32,952.00
8. Parking-1.5" 9.5mm Wearing PG 64-22	SY	1445	\$ 12.00	\$ 17,340.00	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	1,445.00	\$ 17,340.00
9. Traffic Signs	EA	23	\$ 200.00	\$ 4,600.00	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	23.00	\$ 4,600.00
10. Stop Bar	EA	1	\$ 150.00	\$ 150.00	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	1.00	\$ 150.00
11. Crosswalks	EA	1	\$ 850.00	\$ 850.00	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	1.00	\$ 850.00
12. Parking Stalls	EA	45	\$ 10.00	\$ 450.00	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	45.00	\$ 450.00



# ESCROW RELEASE NO.: 1

DATE PREPARED: 6-Sep-2023

PROJECT NAME: **Higher Rock Residential Development** TOTAL ENG/INSP/LEGAL (CASH ESCROW): \$ 45,000.00  
DEVELOPER: Cavendish Acquisitions, LP by Riley Development GP., Corp., its sole GP TOTAL ADMINISTRATION (CASH ESCROW): \$ 5,000.00  
ESCROW AGENT: M & T Bank  
TYPE OF SECURITY: Letter of Credit MAINTENANCE BOND AMOUNT (15%): \$ 148,510.79

MONTGOMERY TOWNSHIP  
TOWNSHIP NO.: LDS-721  
G&A PROJECT NO.: 1607014.03  
AGREEMENT DATE: 27-Apr-2023

SUMMARY OF IMPROVEMENT ESCROW ACCOUNT	TOTAL COST	RELEASE REQUESTS			BALANCE
		CURRENT	PRIOR	TOTAL	
CONSTRUCTION	\$ 990,071.90	\$ 309,405.50	\$ -	\$ 309,405.50	\$ 680,666.40
ANNUAL 10% CONSTRUCTION COST INCREASE (Balance as of mm/dd/yy = \$0.00)	\$ -	\$ -	\$ -	\$ -	\$ -
CONTINGENCY (10%)	\$ 99,007.19	\$ -	\$ -	\$ -	\$ 99,007.19
<b>TOTAL</b>	<b>\$ 1,089,079.09</b>	<b>\$ 309,405.50</b>	<b>\$ -</b>	<b>\$ 309,405.50</b>	<b>\$ 779,673.59</b>

CONSTRUCTION ITEMS	UNIT	QUANTITY	UNIT COST	TOTAL COST	CURRENT REQUEST		PRIOR REQUESTS		TOTAL REQUESTS (incl. current release)		AVAILABLE FOR RELEASE (incl. current release)	
					QTY	COST	QTY	COST	QTY	COST	QTY	COST
<b>F. LIGHTS</b>												
1. Street Lights	EA	10	\$ 4,500.00	\$ 45,000.00		\$ -		\$ -		\$ -	10.00	\$ 45,000.00
2. Relocate Light at entrance	EA	1	\$ 1,850.00	\$ 1,850.00		\$ -		\$ -		\$ -	1.00	\$ 1,850.00
<b>G. LANDSCAPING</b>												
1. Rake and Seed Grass Areas	SF	38675	\$ 0.10	\$ 3,867.50		\$ -		\$ -		\$ -	38,675.00	\$ 3,867.50
2. Meadow Seeding Ernst Mix 153	SF	22830	\$ 0.15	\$ 3,424.50		\$ -		\$ -		\$ -	22,830.00	\$ 3,424.50
3. Canopy Trees (3" Cal.)	EA	46	\$ 600.00	\$ 27,600.00		\$ -		\$ -		\$ -	46.00	\$ 27,600.00
4. Canopy Trees (2.5" Cal.)	EA	52	\$ 500.00	\$ 26,000.00		\$ -		\$ -		\$ -	52.00	\$ 26,000.00
5. Evergreen Trees	EA	16	\$ 550.00	\$ 8,800.00		\$ -		\$ -		\$ -	16.00	\$ 8,800.00
6. Ornamental Trees	EA	16	\$ 400.00	\$ 6,400.00		\$ -		\$ -		\$ -	16.00	\$ 6,400.00
7. Shrubs	EA	114	\$ 90.00	\$ 10,260.00		\$ -		\$ -		\$ -	114.00	\$ 10,260.00
<b>H. OTHER</b>												
1. Survey and Stakeout	LS	1	\$ 20,500.00	\$ 20,500.00	0.25	\$ 5,125.00		\$ -	0.25	\$ 5,125.00	0.75	\$ 15,375.00
2. Trash Pad & Enclosure	LS	1	\$ 15,000.00	\$ 15,000.00		\$ -		\$ -		\$ -	1.00	\$ 15,000.00
3. Fence Panels on Wall	EA	2	\$ 250.00	\$ 500.00		\$ -		\$ -		\$ -	2.00	\$ 500.00
4. As Builts	LS	1	\$ 5,000.00	\$ 5,000.00		\$ -		\$ -		\$ -	1.00	\$ 5,000.00
5. Pins and Monuments	LS	1	\$ 1,500.00	\$ 1,500.00		\$ -		\$ -		\$ -	1.00	\$ 1,500.00
<b>I. ANNUAL CONSTRUCTION COST INCREASE PER PA MPC \$509(h)</b>												
1. 10% Annual Construction Cost Increase (Balance as of mm/dd/yy - \$0.00)	LS	1	\$ -	\$ -		\$ -		\$ -		\$ -	1.00	\$ -
<b>J. CONTINGENCY</b>												
1. 10% Contingency (Released in accordance with the terms of the Land Development Agreement)	LS	1	\$ 99,007.19	\$ 99,007.19		\$ -		\$ -		\$ -	1.00	\$ 99,007.19

## NOTES:

2023-04-17 Initial improvement cost issued for Land Development Agreement.



Your Trusted Hometown Builder

August 29, 2023

Montgomery Township  
1001 Stump Road  
Montgomeryville, PA 18936

**ATTN: Marianne McConnell  
Jim Dougherty-Gilmore Associates**

**RE: Higher Rock – Township Escrow Request #01**

To All:

Enclosed please find the Township Escrow Request for the Higher Rock project in the amount of \$309,405.50.

Upon your receipt and review of this request, your timely processing and releasing of these funds would be appreciated.

Please feel free to contact us with any questions or comments.

Thank you.

A handwritten signature in black ink, appearing to read 'Steve Shaffer', is written over a light blue horizontal line.

Steve Shaffer  
Director of Land Development

**Distribution:**

Marianne McConnell – Montgomery Township ([mmcconnell@montgomerytwp.org](mailto:mmcconnell@montgomerytwp.org))  
Jim Dougherty – Gilmore Assoc ([jdougherty@gilmore-assoc.com](mailto:jdougherty@gilmore-assoc.com))  
Brian Dusault – Gilmore Assoc ([bdusault@gilmore-assoc.com](mailto:bdusault@gilmore-assoc.com))  
Kyle Parkins – WB Homes Inc. ([kylep@wbhomesinc.com](mailto:kylep@wbhomesinc.com))  
Karen Winters – WB Homes Inc. ([karenw@wbhomesinc.com](mailto:karenw@wbhomesinc.com))

**WBHomesInc.com**

# HIGHER ROCK

PAGE 1 OF 3

## Montgomery Township Escrow\_Release Tracking

Release No.:						1		Total Requests				
Date:						08/28/23		To Date Including Current			Remaining Balance	
	Description	Unit	Quant.	Unit Price	Total	QUANT	TOTAL	Quant	%	Total	Quant.	Total
A. EROSION CONTROL												
1	12" Filter Sock	LF	512	\$4.50	\$2,304.00	512	\$2,304.00	512	100%	\$2,304.00		
2	12" Diversion Sock	LF	136	\$5.00	\$680.00	136	\$680.00	136	100%	\$680.00		
3	18" Diversion Sock	LF	121	\$9.50	\$1,149.50	121	\$1,149.50	121	100%	\$1,149.50		
4	Construction Entrance	LS	1	\$3,500.00	\$3,500.00	1	\$3,500.00	1	100%	\$3,500.00		
5	Inlet Protection	EA	19	150	\$2,850.00						19	\$2,850.00
6	Safety / Tree Fence	LF	1368	\$2.50	\$3,420.00	1368	\$3,420.00	1368	100%	\$3,420.00		
7	Concrete Washout	EA	1	\$750.00	\$750.00						1	\$750.00
8	Swale 1 - with Matting NAG SC150	LF	321	\$6.50	\$2,086.50						321	\$2,086.50
9	Swale 2 - with Matting NAG SC150	LF	96	\$6.50	\$624.00						96	\$624.00
10	Swale 3 - with Matting NAG SC150	LF	160	\$6.50	\$1,040.00						160	\$1,040.00
11	Slope Protection Matting	SF	8988	\$0.30	\$2,696.40						8988	\$2,696.40
12	Temp Seed Stockpile	EA	1	\$750.00	\$750.00	1	\$750.00	1	100%	\$750.00		
13	Sed Trap 1 Excavation and Grading	LS	1	\$4,500.00	\$4,500.00	1	\$4,500.00	1	100%	\$4,500.00		
14	Sed Trap 1 Baffle Wall	LF	140	\$27.50	\$3,850.00						140	\$3,850.00
15	Sed Trap 1 Temp 18" CMP Pipe	LF	30	\$60.00	\$1,800.00	30	\$1,800.00	30	100%	\$1,800.00		
16	Sed Trap 1 Anti Seep Collars	EA	2	\$650.00	\$1,300.00	2	\$1,300.00	2	100%	\$1,300.00		
17	Sed Trap 1 Temp Riser	EA	1	\$3,000.00	\$3,000.00	1	\$3,000.00	1	100%	\$3,000.00		
18	Sed Trap 1 Temp Seeding	SF	6400	\$0.10	\$640.00	6400	\$640.00	6400	100%	\$640.00		
19	E&S Maintenance and Removal	LS	1	\$3,700.00	\$3,700.00						1	\$3,700.00
B. EARTHWORK												
1	Earthwork-Strip Topsoil 8"	CY	2,244	\$3.50	\$7,854.00	2244	\$7,854.00	2244	100%	\$7,854.00		
2	Earthwork-Cut to Fill	CY	3986	\$3.00	\$11,958.00	1993	\$5,979.00	1993	50%	\$5,979.00	1993	\$5,979.00
3	Earthwork-Return Topsoil 6"	CY	1248	\$4.00	\$4,992.00						1248	\$4,992.00
4	Sed Trap Removal-Desilt	LS	1	\$1,500.00	\$1,500.00						1	\$1,500.00
5	Sed Trap Removal-Remove Temp Pipe and Riser	LS	1	2500	\$2,500.00						1	\$2,500.00
6	Sed Trap Removal-Remove Baffle	LS	1	\$300.00	\$300.00						1	\$300.00
7	Sed Trap Removal-Excavation	LS	1	\$3,500.00	\$3,500.00						1	\$3,500.00
C. STORM SEWER												
1	15 HDPE	LF	936	\$55.00	\$51,480.00						936	\$51,480.00
2	18 HDPE	LF	84	\$60.00	\$5,040.00						84	\$5,040.00
3	24 HDPE	LF	245	\$75.00	\$18,375.00	245	\$18,375.00	245	100%	\$18,375.00		
4	8 PVC Roof Drain Header	LF	870	35	\$30,450.00						870	\$30,450.00
5	Roof Drain Cleanout	EA	8	\$100.00	\$800.00						8	\$800.00
6	4 ft C Inlet	EA	2	\$2,500.00	\$5,000.00						2	\$5,000.00
5	4 ft M Double Inlet	EA	3	\$3,850.00	\$11,550.00						3	\$11,550.00
6	4 ft M Inlet	EA	5	\$2,350.00	\$11,750.00						5	\$11,750.00
7	Storm Manholes	EA	6	\$3,000.00	\$18,000.00	2	\$6,000.00	2	33%	\$6,000.00	4	\$12,000.00
8	Tie Into Existing Inlet	EA	1	\$1,500.00	\$1,500.00	1	\$1,500.00	1	100%	\$1,500.00		
9	Rip Rap Aprons at Curb Breaks	EA	2	\$850.00	\$1,700.00						2	\$1,700.00
10	UG Basin - 60" Perf. HDPE	LF	611	\$150.00	\$91,650.00	611	\$91,650.00	611	100%	\$91,650.00		
11	UG Basin - 60" HDPE Fittings	EA	4	\$3,000.00	\$12,000.00	4	\$12,000.00	4	100%	\$12,000.00		



# HIGHER ROCK

PAGE 2 OF 3

## Montgomery Township Escrow Release Tracking

Release No.:						1		Total Requests				
Date:						08/28/23		To Date Including Current			Remaining Balance	
	Description	Unit	Quant.	Unit Price	Total	QUANT	TOTAL	Quant	%	Total	Quant.	Total
12	UG Basin - 6" Perf. Underdrain	LF	103	\$25.00	\$2,575.00	103	\$2,575.00	103	100%	\$2,575.00		
13	UG Basin - PADOT Type 2B Stone	CF	58,000	\$0.50	\$29,000.00	58000	\$29,000.00	58000	100%	\$29,000.00		
14	UG Basin - 40mil Liner (top, bottom, and sides)	SF	13,826	\$2.00	\$27,652.00	13826	\$27,652.00	13826	100%	\$27,652.00		
15	UG Basin - AASHTO Class 3 Non-Woven GT	SF	27,652	\$1.00	\$27,652.00	27652	\$27,652.00	27652	100%	\$27,652.00		
16	UG Basin - Outlet Structure	EA	1	\$15,000.00	\$15,000.00	1	\$15,000.00	1	100%	\$15,000.00		
16	UG Basin - Storm Inlets	EA	4	\$5,250.00	\$21,000.00	4	\$21,000.00	4	100%	\$21,000.00		
17	UG Basin - Storm Manholes	EA	3	\$5,000.00	\$15,000.00	3	\$15,000.00	3	100%	\$15,000.00		
18	Flexstorm Inlet Filters	EA	13	\$1,250.00	\$16,250.00						13	\$16,250.00
D. CONCRETE												
SITE												
1	18" Concrete Curb	LF	2,078	\$18.50	\$38,443.00						2078	\$38,443.00
2	Mountable Islands	LF	250	\$25.00	\$6,250.00						250	\$6,250.00
3	Sidewalks 4" th on 4" 2b Stone	SF	2,404	\$6.00	\$14,424.00						2404	\$14,424.00
4	Handicap Ramps inc. DWS	EA	2	\$2,500.00	\$5,000.00						2	\$5,000.00
5	ADA Turn Pads	EA	7	\$200.00	\$1,400.00						7	\$1,400.00
6	Driveway Aprons 6" th on 6" 2A	SF	4,543	\$7.00	\$31,801.00						4543	\$31,801.00
FIREHOUSE												
7	Firehouse-Cut/Strip Topsoil/rough grade	LS	1	\$1,500.00	\$1,500.00						1	\$1,500.00
8	Firehouse-5' Wide Sidewalk 4" th on 4" 2b Stone	SF	1,830	\$15.00	\$27,450.00						1830	\$27,450.00
9	Firehouse-Handicap Ramps inc DWS	EA	5	\$2,500.00	\$12,500.00						5	\$12,500.00
10	Firehouse-Curb Remove and Replace	LF	80	\$50.00	\$4,000.00						80	\$4,000.00
11	Firehouse-Blacktop Restoration	SF	145	\$25.00	\$3,625.00						145	\$3,625.00
12	Firehouse-Topsoil Rake & Seed	SF	1,464	\$1.00	\$1,464.00						1464	\$1,464.00
13	Firehouse-Crosswalks	EA	2	\$1,200.00	\$2,400.00						2	\$2,400.00
14	Firehouse-Stop Bar	EA	1	\$850.00	\$850.00						1	\$850.00
15	Firehouse-Traffic Control	LS	1	\$5,000.00	\$5,000.00						1	\$5,000.00
E. PAVING & SIGNS												
1	Roadway-Fine Grade	SY	2,746	\$1.50	\$4,119.00						2746	\$4,119.00
2	Roadway-3" 2A Modified	SY	2,746	\$6.50	\$17,849.00						2746	\$17,849.00
3	Roadway-5" 25mm Binder PG 64-22	SY	2,746	\$19.50	\$53,547.00						2746	\$53,547.00
4	Parking-Fine Grade	SY	1,445	\$1.50	\$2,167.50						1445	\$2,167.50
5	Parking-3" 2A Modified	SY	1,445	\$6.50	\$9,392.50						1445	\$9,392.50
6	Parking-5" 25mm Binder PG 64-22	SY	1,445	\$19.50	\$28,177.50						1445	\$28,177.50
7	Roadway-1.5" 9.5mm Wearing PG 64-22	SY	2,746	\$12.00	\$32,952.00						2746	\$32,952.00
8	Parking-1.5" 9.5mm Wearing PG 64-22	SY	1,445	\$12.00	\$17,340.00						1445	\$17,340.00
9	Traffic Signs	EA	23	\$200.00	\$4,600.00						23	\$4,600.00
10	Stop Bar	EA	1	\$150.00	\$150.00						1	\$150.00
11	Crosswalks	EA	1	\$850.00	\$850.00						1	\$850.00
12	Parking Stalls	EA	45	\$10.00	\$450.00						45	\$450.00
F. LIGHTS												
1	Street Lights	EA	10	\$4,500.00	\$45,000.00						10	\$45,000.00
2	Relocate Light at entrance	EA	1	\$1,850.00	\$1,850.00						1	\$1,850.00

# HIGHER ROCK

PAGE 3 OF 3

## Montgomery Township Escrow\_Release Tracking

Release No.:						1		Total Requests				
Date:						08/28/23		To Date Including Current			Remaining Balance	
	Description	Unit	Quant.	Unit Price	Total	QUANT	TOTAL	Quant	%	Total	Quant.	Total
G. LANDSCAPING												
1	Rake and Seed Grass Areas	SF	38,675	\$0.10	\$3,867.50						38675	\$3,867.50
2	Meadow Seeding Ernst Mix 153	SF	22,830	\$0.15	\$3,424.50						22830	\$3,424.50
3	Canopy Trees (3" Cal.)	EA	46	\$600.00	\$27,600.00						46	\$27,600.00
4	Canopy Trees (2.5" Cal.)	EA	52	\$500.00	\$26,000.00						52	\$26,000.00
5	Evergreen Trees	EA	16	\$550.00	\$8,800.00						16	\$8,800.00
6	Ornamental Trees	EA	16	\$400.00	\$6,400.00						16	\$6,400.00
7	Shrubs	EA	114	\$90.00	\$10,260.00						114	\$10,260.00
H. OTHER												
1	Survey and Stakeout	LS	1	\$20,500.00	\$20,500.00	0.25	\$5,125.00	0.25	25%	\$5,125.00	0.75	\$15,375.00
2	Trash Pad & Enclosure	LS	1	\$15,000.00	\$15,000.00						1	\$15,000.00
3	Fence Panels on Wall	EA	2	\$250.00	\$500.00						2	\$500.00
4	As Builts	LS	1	\$5,000.00	\$5,000.00						1	\$5,000.00
5	Pins and Monuments	LS	1	\$1,500.00	\$1,500.00						1	\$1,500.00
I. ANNUAL CONSTRUCTION COST INCREASE PER PA MPC §509(h)												
1	10% Annual Construction Cost Increase	LS	1								1	
	(Balance as of mm/dd/yy - \$0.00)											
J. CONTINGENCY												
1	10% Contingency	LS	1	\$99,007.19	\$99,007.19						1	\$99,007.19
	(Released in accordance with the terms of the Land Development Agreement)											

<b>CONSTRUCTION SUBTOTAL</b>	<b>\$1,089,079.09</b>	<b>\$309,405.50</b>	<b>\$309,405.50</b>	<b>\$779,673.59</b>
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Engineering & Inspection	10% \$	45,000.00		\$45,000.00
Administration Fee (% of Eng. & Insp.)	2% \$	5,000.00		\$5,000.00

<b>TOTALS</b>	<b>\$1,139,079.09</b>	<b>\$309,405.50</b>	<b>\$309,405.50</b>	<b>\$829,673.59</b>
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MONTGOMERY TOWNSHIP BOARD OF SUPERVISORS

BOARD ACTION SUMMARY

Item #06

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SUBJECT: Introduction/Swearing-In of New Police Officers  
MEETING DATE: September 11, 2023  
BOARD LIAISON: Annette M. Long, Public Safety Committee Liaison  
INITIATED BY: J. Scott Bendig, Chief of Police

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BACKGROUND:

On March 14, 2023, Officer David Dunlap retired from the Montgomery Township Police Department after 40 years of service to our community. This retirement, combined with the creation of a Professional Standards position within the department, has resulted in two vacancies within the department's Patrol Division. A recruit hiring process was initiated in April of 2023, with twenty-two applications received for the position of Recruit Police Officer.

This police department hiring process consisted of a resume review, a physical agility test, two police oral review boards, and a background investigation (including a polygraph examination, neighborhood interviews, and employer interviews).

Before the Board this evening for consideration for appointment to the positions of Recruit Police Officers are the top two candidates, Michael Poekert and Jacob Millevoi.

PREVIOUS BOARD ACTION:

None

BUDGET IMPACT:

Funding to fill these positions was included in the 2023 Approved Budget.

RECOMMENDATION:

It is recommended that Michael Poekert and Jacob Millevoi be sworn in as Recruit Police Officers with an effective hire date of September 12, 2023.

MOTION/RESOLUTION:

**Motion** to appoint Michael Poekert and Jacob Millevoi to the position of Recruit Police Officer in the Montgomery Township Police Department, effective September 12, 2023.

MOTION BY: \_\_\_\_\_ SECOND BY: \_\_\_\_\_

MONTGOMERY TOWNSHIP BOARD OF SUPERVISORS

**BOARD ACTION SUMMARY**

Item #07

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<b>SUBJECT:</b>	Community and Recreation Center Capital Improvement Plan
<b>MEETING DATE:</b>	September 11, 2023
<b>BOARD LIAISON:</b>	Annette M. Long
<b>INITIATED BY:</b>	Carolyn McCreary, Township Manager

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**BACKGROUND:**

The Township contracted with D'Huy Engineering as part of our efforts to update the Township's Capital Investment Plan (CIP), specifically for the CRC.

This evening Doug Taylor with D'Huy Engineering is here to introduce and describe the details of the work his firm did evaluating the condition of the CRC and explain the metrics to determine when and what needs to be updated and/or replaced.

MONTGOMERY TOWNSHIP BOARD OF SUPERVISORS

**BOARD ACTION SUMMARY**

Item #08

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SUBJECT: Public Hearing - Proposed Ordinance #23-336Z to amend the Township Zoning Code to allow Mixed-Use Complex by Conditional Use in the S - Shopping Center District

MEETING DATE: September 11, 2023

BOARD LIAISON: Candyce Fluehr Chimera, Chairwoman

INITIATED BY: Marianne McConnell, Director of Planning & Zoning

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**BACKGROUND:**

The applicant, Harry Hassan, is proposing a zoning text amendment for redevelopment of his property located at 511-521 Stump Road by adding provisions to permit a new Mixed-Use Complex consisting of nonresidential and residential uses on a single tract of land. The applicant proposes to construct a new 3,600-square-foot building on the property with apartments on the second floor as well as renovate the existing buildings to add second-floor apartments. The proposed amendment includes specific uses permitted as part of the mixed-use complex and parking standards. This proposed amendment would also apply to each property with the S-Shopping Center zoning designation.

Township staff, consultants, and the County have had the opportunity to review the details of the proposed text amendment and the corresponding review letters are in your packet.

During their August 17<sup>th</sup> meeting, the Planning Commission unanimously recommended the Board of Supervisors approve the proposed ordinance as presented.

**ZONING, SUBDIVISION, OR LAND DEVELOPMENT IMPACT:**

This proposed amendment would also apply to each property with the S-Shopping Center zoning designation.

**MOTION/RESOLUTION:**

**Motion** to authorize the adoption of Ordinance #23-336Z to amend the Township Zoning Code to Allow Mixed Use Complex by Conditional Use in the S-Shopping Center District.

- 1) Motion by: \_\_\_\_\_ Second by: \_\_\_\_\_
- 2) Chairwoman will ask for public comment.
- 3) Chairwoman will call for vote.

**MONTGOMERY TOWNSHIP  
MONTGOMERY COUNTY, PENNSYLVANIA**

**ORDINANCE NO. 23-336Z**

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**AN ORDINANCE AMENDING THE MONTGOMERY TOWNSHIP CODE  
CHAPTER 230 ENTITLED "ZONING" ARTICLE II DEFINITIONS,  
ATTACHMENT 2 – TABLE 230-A, ARTICLE XV S SHOPPING CENTER  
DISTRICT, ARTICLE XIX OFF-STREET PARKING AND LOADING**

---

**WHEREAS**, the Board of Supervisors has met the procedural requirements of 53 P.S. §10101, et. seq. of the Pennsylvania Municipalities Planning Code, for the adoption of the proposed ordinance, including holding a public hearing;

**WHEREAS**, the Second Class Township Code authorizes the Board of Supervisors to make and adopt ordinances that are consistent with the constitution and the laws of the Commonwealth that it deems necessary for the proper management, care and control of the Township and the maintenance of peace, good government, health and welfare of the Township and its citizens;

**NOW, THEREFORE, BE IT ORDAINED AND ENACTED** by the Board of Supervisors for the Township of Montgomery, and it is hereby ordained and enacted by the authority of the same as follows:

**§ 1. CODE AMENDMENTS.**

**A. CHAPTER 230 ENTITLED "ZONING" ARTICLE II DEFINITIONS  
SECTION 230-5 WORD USAGE; DEFINITIONS, PARAGRAPH B IS  
AMENDED AS FOLLOWS:**

**1. TO ADD:**

**MIXED USE COMPLEX**

The development of a tract of land or building or structure with two or more different uses such as, but not limited to, residential, office, retail, public or entertainment. Such uses include:

1. The following nonresidential uses are permitted as part of a mixed use complex:
  - Art, music, photographer, dance studio
  - Bakery, confectionery or ice cream parlor
  - Business or professional office
  - Copy center

Custom shop for production of articles sold on the premises  
 Dry cleaner  
 Financial institution, bank  
 Fitness center, health club  
 Personal service shop, consisting of tailor, barber, beauty salon, shoe repair, or dressmaking  
 Restaurant, sit-down with no substantial carryout or delivery service  
 Retail sales of dry goods, general merchandise food, drugs, household supplies, jewelry or books  
 Day-care facility  
 Day-care, senior citizen  
 Indoor recreation/entertainment such as bowling alley, billiard rooms, skating rink, indoor tennis, or other similar places of indoor amusement  
 Indoor theater, radio or TV studio  
 Outdoor dining area as an accessory to permitted restaurant use  
 Pet store without a commercial kennel  
 Post office  
 Restaurant or other place serving food or beverages with outdoor counter, drive-through or curbside service  
 Taproom, tavern  
 Trade or vocational school, learning center

2. Residential dwelling units, at a minimum of 25% and a maximum 60% of the total floor area on the site. No residential dwelling unit shall be located on the first floor.

**2. TO AMEND THE NAME AND DEFINITION OF**  
**“MEDICAL, DENTAL CLINIC” TO INSTEAD READ**  
**“MEDICAL, DENTAL OFFICE**

A building that contains one or more medical professionals/personnel who dispense health services and provide testing where patients are admitted for examination and treatment on an outpatient basis.”

**B. CHAPTER 230 ENTITLED “ZONING” ATTACHMENT 2 – TABLE 230-A**  
**IS AMENDED AS FOLLOWS:**

“Medical and dental office” shall be listed as “P” in the “S” District.  
 “Mixed Use Complex” shall be added and listed as “C” in the “S” District and as “N” in all other Districts

**C. CHAPTER 230 ENTITLED "ZONING" ARTICLE XV S SHOPPING CENTER DISTRICT, SECTION 230-91.1 SATELLITE USES IS AMENDED TO BEGIN WITH THE FOLLOWING:**

The following provisions shall apply to lots that measure 8 acres or more in size:

**D. CHAPTER 230 ENTITLED "ZONING" ARTICLE XIX OFF-STREET PARKING AND LOADING IS AMENDED TO ADD:**

(16) Mixed Use Complex. 4.4 parking spaces per 1,000 square feet of total nonresidential floor area and 1.5 parking spaces for each dwelling unit. Eating places in excess of 4,500 square feet and indoor theaters shall provide parking at the ratios provided in 230-134.

**§2. REVISIONS.**

The Montgomery Township Board of Supervisors does hereby reserve the right, from time to time, to adopt modifications of, supplements to, or amendments of its ordinance, including this provision.

**§3. SEVERABILITY.**

In the event that any section, sentence, clause, phrase or word of this ordinance shall be declared illegal, invalid or unconstitutional by any Court of competent jurisdiction, such declaration shall not prevent, preclude or otherwise foreclose enforcement of any of the remaining portions of this Ordinance.

**§4. EFFECTIVE DATE.**

This amendment shall become effective five (5) days after date of adoption.

**§6. FAILURE TO ENFORCE NOT A WAIVER.**

The failure of Montgomery Township to enforce any provision of this ordinance shall not constitute a waiver by Montgomery Township of its rights of future enforcement hereunder.

**ENACTED and ORDAINED** by the Board of Supervisors of Montgomery Township, Montgomery County, Pennsylvania, \_\_\_\_\_ of \_\_\_\_\_, 2023.

**ATTEST:**

**TOWNSHIP OF MONTGOMERY:**

By: \_\_\_\_\_  
Carolyn McCreary, Secretary

By: \_\_\_\_\_  
Candyce Fluehr Chimera, Chairperson



Montgomery Township  
Planning Commission Meeting Minutes  
August 17, 2023

The regular monthly meeting of the Montgomery Township Planning Commission was held at the Township Building at 7:30 p.m. Thursday, August 17, 2023. The members of the Planning Commission in attendance included: Jay Glickman, Jim Rall, Steve Krumenacker, Frank Davey, Dave Fetzler, Rutuke Patel, Tom Borghetti, and Leon McGuire. Also present: Candyce Fluehr Chimera, Board Liaison; Alex Brumler, Township Solicitor; Jim Dougherty, Township Engineer; Damon Drummond, Township Traffic Engineer; Stacy Yoder, Township Planning Consultant; Carolyn McCreary, Township Manager, Marianne McConnell, Director of Planning & Zoning/Zoning Officer and Mary Gambino, Land Development & Project Coordinator.

The regular meeting was called to order by Chairman Tom Borghetti.

Upon a motion by Tom Borghetti, and seconded by Jim Rall, the minutes of the February 16, 2023 meeting were approved as submitted.

**Penn Medicine Land Development Application LD-23-005**

Christopher Poterjoy, of Pennoni Associates, representing Penn Medicine, reviewed the previous hearings held to consider this land development proposal for a 4-story ambulatory health care facility, with a 5-level parking garage, at Dekalb Pike and Gwynmont Drive. He noted that previously the Conditional Use had been approved in April of 2023 and in May, 2023, the Land Development application was submitted.

Mr. Poterjoy addressed comments in the consultant review letters, specifically the softening landscape buffer and proposed fencing along the residential properties possibly at the top of the landscaping berm, however, indicated that for maintenance reasons, the fence would preferably be placed closer to the property lines. Landscaping would be placed on top of the berm for added screening. Tom Borghetti questioned whether plantings could be placed closer to the residential border of the property. Matt Nelson, Landscape Architect for the applicant, explained that the buffer planting requirements had been enhanced along the residential border and a fence had been added. He pointed out that a recent study had shown that landscaping the top of the berm is more effective than a fence. Steve Krumenacker discussed the county review regarding the possible road connection to the residential properties. Mr. Poterjoy and Mr. Nelson stated that a road connection would be detrimental to the storm water facilities, the neighbors didn't desire the connection, and landscaping and screening would be provided along this area. Richard Fusco, of 109 Gwynmont Circle, questioned if this area could be turned into a berm as a continuation of the existing landscaping berm. Mr. Nelson and Mr. Poterjoy stated they would look into continuing the berm in that area and its effects on the stormwater management facilities proposed to be constructed in that area.

Residents of Gwynmont Farms development expressed concerns with traffic in the area, impact on PECO service, and impact on sewer and water services. Carolyn McCreary stated that PennDOT traffic consultants had deemed the Penn Medicine traffic studies sufficient, and both North Wales Water Authority and Montgomery Township Municipal Sewer Authority had stated that this development would have no impact on their services. Ms. McCreary had contacted Susan Ryan, at PECO, who stated that PECO had sufficient funds to allocate service to the Penn Medicine location. A resident stated that she hoped that Penn Medicine would be a good neighbor and do more than what is legally required or sufficient. Damon Drummond stated that Penn Medicine had agreed to install a flashing device to alert

drivers of the Gwynmont Drive intersection on DeKalb Pike. Mr. Poterjoy added that traffic counts and studies had been conducted in May of 2022 and included all nearby intersections. The Gwynmont Farms residents expressed further traffic concerns on Welsh Road. Ms. McCreary stated that the Township and Highway Safety Unit has been studying Welsh Road prior to the Penn Medicine application and had implemented no turn on red for Stump Road at the intersection with Welsh Road. Mr. Borghetti stated that the township is on top of traffic issues in this area and Penn Medicine is addressing the township concerns.

There being no further comments, upon a motion made by Jay Glickman, and seconded by Jim Rall, the Planning Commission recommended that the Board of Supervisors approve the Land Development Application of Penn Medicine subject to Township Consultant and Staff review comments. All in favor.

#### **The Village Text Amendment Ordinance 23-336**

Christen Pionzio, attorney for the applicant, and Harry Hassan, owner of The Village Shopping Center, addressed the Commission. Ms. Pionzio explained that the applicants had met with township staff to discuss development options at this site. She stated that the second floor of the center is currently 80% vacant and the bank tenant in the barn on the property had vacated. The applicant is proposing a text amendment to allow apartments above the current shopping center and barn building. A new building is also proposed which would provide office space on the first floor and apartments above on the second floor. The proposed text amendment would allow mixed-use residential within the S-Shopping Center district, including the Village Shopping Center and other properties with this zoning designation. Specific uses would be permitted, and specific requirements would be required with this proposed mixed-use development.

There was no public comment on this proposal.

Upon a motion made by Jay Glickman, and seconded by Tom Borghetti, the Planning Commission recommended that the Board of Supervisors approve the ordinance text amendment as presented. All in favor.

#### **Atlas Broadband Solutions Conditional Use C-80**

Zach Morano, attorney for the applicant, and Susan Rice, engineer for the applicant, addressed the Commission. Mr. Morano and Ms. Rice explained that the proposed flag lot 2-lot subdivision is allowed by conditional use at this address, 1011 Lansdale Avenue. The use of landscaping buffers was discussed with the commission, as well as tree replacements and stormwater facilities. Ms. Rice stated that all trees along the property line will remain, and replacement trees will be provided for the large dying tree at the front of the property, which is to be removed. Stormwater facilities are to be provided by an earthen berm and a stone pit and trickle outlet. Ms. Rice added that a sanitary sewer line and manhole will be provided.

There was no public comment on this proposal.

Upon a motion made by Jay Glickman, and seconded by Tom Borghetti, the Planning Commission recommended that the Board of Supervisors approve the Conditional Use application. All in favor.

**Adjournment:** There being no further business to come before the commission, the meeting adjourned at 8:26 p.m. The next meeting will be held at 7:30 p.m. on September 21, 2023, at the Township Building.

**MONTGOMERY COUNTY  
BOARD OF COMMISSIONERS**

KENNETH E. LAWRENCE, JR., CHAIR  
JAMILA H. WINDER, VICE CHAIR  
JOSEPH C. GALE, COMMISSIONER



**MONTGOMERY COUNTY  
PLANNING COMMISSION**

MONTGOMERY COUNTY COURTHOUSE • PO Box 311  
NORRISTOWN, PA 19404-0311  
610-278-3722 • FAX: 610-278-3941  
[WWW.MONTGOMERYCOUNTYPA.GOV](http://WWW.MONTGOMERYCOUNTYPA.GOV)  
SCOTT FRANCE, AICP  
EXECUTIVE DIRECTOR

July 27, 2023

Ms. Marianne McConnell, Assistant Director of Planning & Zoning  
Montgomery Township  
1001 Stump Road  
Montgomeryville, Pennsylvania 18936-9605

Re: MCPC #23-0134-001  
Proposal Name: The Village Zoning Text Amendment  
Montgomery Township

Dear Ms. McConnell:

We have reviewed the above-referenced zoning text amendment in accordance with Section 609 of Act 247, "The Pennsylvania Municipalities Planning Code," as you requested on July 6, 2023. We forward this letter as a report of our review.

## BACKGROUND

Montgomery Township has submitted a zoning text amendment on behalf of Harry E. Hassan to modify the S Shopping Center zoning district by adding provisions for a "Mixed Use Complex". A definition for "Mixed Use Complex" would be added to section 230-5, defining it as a development with two or more uses of previously permitted Shopping Center uses and residential dwelling units, provided that the units range between 25% and 60% of the total floor area on a site and are not located on the first floor of a building. Mixed Use Complexes would be a conditional use in the S Shopping Center district and not permitted in any other zones. Additionally, this amendment would amend the name and definition of "medical, dental clinic" to "medical, dental office" and permit one professional in a site from the previously required two; provide a clarification to the applicability of satellite use code provisions in the S Shopping Center district; and add parking standards for Mixed Use Complexes. The intent for the text amendment is to permit a future land development at 511-521 Stump Road of an additional building in the current parking lot and redevelopment of existing buildings; this letter will only discuss the merits of the zoning text amendment application.

## COMPREHENSIVE PLAN COMPLIANCE

Montgomery County's 2015 comprehensive plan, *Montco 2040: A Shared Vision*, explicitly calls on the county to "work with local municipalities, developers and property owners redeveloping older retail properties" with mixed use concepts including medium density housing. These properties, it is noted, should feature combined driveways and interconnected parking, buildings close to the street with front doors and windows facing the street, sidewalks set back from the street that connect to the building, street trees and landscaping and walls to screen parking among other street beautification features, and appropriate signage. We believe that the zoning text amendment is compliant with *Montco 2040* and encourage the township to further consider the listed features as mixed use complexes are proposed.



Montgomery Township's 2022 comprehensive plan update identifies the proposed area of the development as "Commercial" on its future land use map. However, the housing implementation strategies portion of the plan calls for encouragement of a variety of housing types and zoning that supports mixed-uses in commercial areas. We believe that this text amendment is generally compatible with the township's 2022 comprehensive plan, and if the resulting mixed use center developments are successful, we would encourage an update to the Future Land Use map to accurately reflect areas of mixed use potential in the township.

## RECOMMENDATION

The Montgomery County Planning Commission (MCPC) generally supports the township's zoning text amendment proposal, however, in the course of our review we have identified a number of issues that we believe should be resolved prior to zoning amendment adoption. Our comments are as follows:

## REVIEW COMMENTS

### GENERAL COMMENTS

- A. As proposed, a "mixed use complex" would be permitted by conditional use approval in the S Shopping Center zoning district. No additional conditions are proposed as part of this zoning text amendment beyond what is already required for conditional use applications in Section 230-156.2 of the township code. We strongly recommend that the Township consider requiring conditions specific to "mixed use complexes" in the S zone, in order to ensure that residential development in these areas is similar in character to residential developments in other zones that permit multifamily. These conditions could include:
  - a. Amenities for apartment development, such as indoor common use space
  - b. Open space requirements for outdoor recreational usage
  - c. The provision of mixes of uses by building floor, including possible maximums for office space
  - d. Access to a minimum of two public streets for emergency services use
- B. While we have no concern with the change in the ordinance definition regarding "medical/dental office", we will note that the simplification of the term to "medical office" would still appear to serve the same function for allowing medical activities.

### TECHNICAL COMMENTS

- A. Section D of the code amendment should be revised to state "1,000 square feet" instead of "1.000 square feet".
- B. Section A of the code amendment notes that the minimum residential required space is 25% of the total floor area of the "site", as opposed to 25% of any other measurement standard such as "the building being used". We want to note this to the Township for its consideration of how this type of zoning amendment, which will affect five different shopping centers throughout the township, may be compatible in other locations.

## CONCLUSION

We wish to reiterate that MCPC generally supports the township's proposal but we believe that our suggested revisions will better achieve Montgomery Township's planning objectives for mixed use development.

Please note that the review comments and recommendations contained in this report are advisory to the municipality and final disposition for the approval of any proposal will be made by the municipality. Should the governing body adopt this proposed zoning ordinance amendment, Section 609 of the Municipalities Planning Code requires that we be sent an official copy within 30 days.

Sincerely,



Matthew Popek, AICP  
Transportation Planning Assistant Manager  
[mpopek@montcopa.org](mailto:mpopek@montcopa.org) - 610-278-3730

c: Christen G. Pionzio, Esq., Applicant  
Carolyn McCreary, Twp. Manager  
Jim Rall, Chrm., Twp. Planning Commission



**GILMORE & ASSOCIATES, INC.**  
ENGINEERING & CONSULTING SERVICES

July 26, 2023

File No. 22-03023

Marianne McConnell  
Assistant Director of Planning and Zoning Montgomery Township  
Montgomery Township  
1001 Stump Road  
Montgomeryville, PA 18936-9605

Reference: Zoning Text Amendment Review – M-22-336  
The Village 511-521 Stump Road  
Tax Map Parcel Number: 46-00-03482-00-9; Block 13A, Unit 157

Dear Marianne:

As requested, Gilmore & Associates, Inc. has reviewed the information listed below with regard to the zoning text amendment submission referenced above.

- A. A copy of the proposed text amendment.
- B. Architectural View Plans, prepared by Andrew Randazzo Architects consisting of 3 sheets.
- C. Site Plans, prepared by Andrew Randazzo Architects consisting of 1 sheet.

The property is situated in the S – Shopping Center Zoning District. The Applicant is proposing a zoning text amendment to permit a new mixed use complex consisting of nonresidential and residential uses on a single tract of land or building or structure. The site fronts on Stump Road and is surrounded by residential uses with industrial uses across Stump Road. While the applicant is pursuing to develop 511-521 Stump Road using the proposed mixed use complex, it should be noted the proposed text amendment and mixed use complex will be permitted on any applicable parcel within the S – Shopping Center Zoning District.

## **PLANNING REVIEW**

### **1. Consistency with the Comprehensive Plan**

Mixed use is a land use category identified in the Comprehensive Plan. The intent of the Mixed Use category is to promote infill development, encourage redevelopment, and provide more flexibility in design regulations. The proposed zoning text amendment is generally consistent with the comprehensive plan.

### **2. General Comments**

- a. The "Mixed Use Complex" shall permit any use permitted in the S Shopping Center District as indicated in Table 230-A. We recommend the draft ordinance be revised to include additional language for the mixed use complex to specifically list the uses permitted as part of a mixed use.
- b. § 1.D reads as follows: "...4.4 parking spaces per 1.000 square feet of total nonresidential floor area..." The 1.000 square feet should be revised to read as 1,000 square feet.

If you have any questions regarding the above, please contact this office.

Sincerely,



Judith Stern Goldstein, R.L.A., ASLA  
Senior Project Manager  
Gilmore & Associates, Inc.

JSG/sI

cc: Carolyn McCreary, Manager – Montgomery Township  
Marianne McConnell, Deputy Zoning Officer – Montgomery Township  
Mary Gambino, Project Coordinator – Montgomery Township  
Bill Wiegman, Director of Fire Services - Montgomery Township  
Sean Kilkenny, Esq., Solicitor – Kilkenny Law  
Christen Pionzio, Esq, HRMML  
Andrew Randazzo – Andrew Randazzo Architects






## MONTGOMERY TOWNSHIP POLICE DEPARTMENT

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J. Scott Bendig  
Chief of Police

1001 Stump Road • P.O. Box 68 • Montgomeryville, PA 18936  
215-362-2301 • Fax 215-362-6383

To: Marianne J. McConnell  
Assistant Director of Planning and Zoning

From: J. Scott Bendig, Chief of Police 

Date: July 6, 2023

Re: 23-336 Text Amendment  
515 Stump Road

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A review of the above-referenced zoning text amendment was conducted on this date. There are no areas of concern to the Police Department at this time. Thank you for the opportunity to review this amendment. Please contact me if you have any issues\_or concerns.



MONTGOMERY TOWNSHIP BOARD OF SUPERVISORS

**BOARD ACTION SUMMARY**

Item #09

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SUBJECT: Authorize Amended Stipulated Agreement – Bharatiya Temple  
MEETING DATE: September 11, 2023  
BOARD LIAISON: Candyce Fluehr Chimera, Chairwoman  
INITIATED BY: Marianne McConnell, Director of Planning and Zoning

---

**BACKGROUND:**

In December 2018, the Board of Supervisors authorized the Township Solicitor to enter into a Settlement Stipulation resolving the Bharatiya Temple Zoning Hearing Appeal in the Montgomery County Court of Appeals, docket # 2018-03410 for a proposed two-story learning center. The property owner desires to modify the Proposed Improvements and Stipulated Agreement to include “an unfinished basement for storage purposes only, additional parking, a two-story 10,824 sq ft (5,412 sq ft per floor) learning center”. The property owner no longer intends to construct the additions to the existing Temple building (see Items #12 and 13 in the attached Amended Settlement Stipulation).

The Applicant must meet the requirements of the Montgomery County Court of Common Pleas Docket No. 2018-03410 as amended.

**MOTION/RESOLUTION:**

**Motion** to authorize the Amended Settlement Stipulation, Docket No. 2018-03410, and facilitate Court Approval.

- 1) Motion by: \_\_\_\_\_ Second by: \_\_\_\_\_
- 2) Chairwoman will ask for public comment.
- 3) Chairwoman will call for a vote.

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**MONTGOMERY COUNTY COURT OF COMMON PLEAS**

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BHARATIYA TEMPLE INC.

vs.

MONTGOMERY TOWNSHIP ZONING  
HEARING BOARD, *et al*

---

: Docket No. 2018-03410  
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**ORDER**

AND NOW, this \_\_\_\_\_ day of \_\_\_\_\_ 2023, it is hereby ORDERED and DECREED that the terms and conditions of the attached Amended Settlement Stipulation are accepted as terms and conditions of a binding court order,

BY THE COURT:

---

**J.**

Copies of the above Order mailed on \_\_\_\_\_ to:

Carl N. Weiner, Esquire  
Mary Kay Kelm, Esquire  
John Walko, Esquire  
Court Administration – Civil

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Judicial Secretary

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## MONTGOMERY COUNTY COURT OF COMMON PLEAS

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BHARATIYA TEMPLE INC.

vs.

MONTGOMERY TOWNSHIP ZONING  
HEARING BOARD, *et al*

---

: Docket No. 2018-03410  
:  
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### **AMENDED SETTLEMENT STIPULATION**

#### Parties

1. Appellant is the Property Owner, Bharatiya Temple Inc. ("Property Owner").
2. Appellee is the Montgomery Township Zoning Hearing Board ("Zoning Board").
3. Intervenor is Montgomery Township ("Township").

#### Property

4. The Property, which consists of approximately 6.24 acres, is located at 1612 County Line Road, within the Township's R-1 Residential District, and is further identified as Tax Parcel Number 46-00-00565-001 ("Property").
5. The Property is improved with a 10,130 square-foot temple building that was constructed in 2004.
6. Property Owner proposed to construct additional parking; a two-story, a 10,488 square-foot (5,244 square-feet per floor) cultural and learning center building; and additions to the existing temple (i.e., a one-story,

554 square-foot storage area building and a one-story, 580 square-foot kitchen) on the Property ("Proposed Improvements").

#### Zoning Appeal

7. In November 2017, Property Owner filed a zoning application with the Zoning Board (Application No. 17110001) requesting a variance under Article V, Section 230-26(E)(1) of the Township's Zoning Ordinance to facilitate the Proposed Improvements ("Application").
8. After conducting a public hearing on the Application, on January 18, 2018, the Zoning Board denied the Application.<sup>1</sup>
9. On February 14, 2018, Property Owner appealed to this Court from the Zoning Board's denial.
10. Property Owner, Zoning Board and Township previously entered into a Settlement Amended Stipulation providing for the construction of Proposed Improvements as stated in Paragraph 6 above.

#### Settlement Terms

11. Based upon the risks and costs of litigation, the parties have decided it is in their best interests to settle this matter based upon the terms and conditions set forth in this Amended Stipulation.
12. Property Owners desire to modify the Proposed Improvements to construct the following improvements on the Property: additional parking, a two-story, 10,824 square-foot (5,412 square-feet per floor) cultural and learning center building with an unfinished basement that will be used for storage purposes only. Property Owners no longer intend to construct additions to the existing temple ("Revised Proposed Improvements").
13. Accordingly, the parties, intending to be legally bound, and to bind their respective clients, agree to the following settlement terms:
  - 13.1 Property Owner's Revised Proposed Improvements shall be consistent with the site and building plans, attached as Exhibit "A", and in accordance with the following dimensional limitations:

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<sup>1</sup> The public hearing was duly advertised and conducted in accord with Pennsylvania's Sunshine Act and Second Class Township Code, as amended.

Minimum Lot Area	7.6 Acres
Minimum Lot Width at Building Line	394 Feet
Minimum Front Yard	178 Feet
Minimum Side Yard	104 Feet
Minimum Rear Yard	272 Feet
Minimum Building Setback at Property Lines	104 Feet
Minimum Parking Setback at Property Lines	26 Feet
Maximum Building Coverage	6.9%
Maximum Impervious Coverage	44.4%
Maximum Building Height	37 Feet
Minimum Parking Spaces	210

- 13.2 Property Owner agrees that the proposed two-story cultural and learning center building on the Property shall not be used for catering, wedding receptions or banquets.
- 13.3 Property Owner agrees that the basement shall remain unfinished and used for storage purposes only and no other use. The unfinished basement may have appropriate HVAC and lighting to facilitate the storage-only use, as well as a janitor sink. Property Owner further agrees that if it intends to use the unfinished basement for any purpose other than the permitted storage-only use and/or to further fit-out or finish the basement, it shall be required to notify the Township; further amend this Amended Stipulation accordingly; and obtain any and all necessary approvals and/or permits to facilitate such additional basement use and improvement.
- 13.4 Property Owner shall submit a buffering plan to the Township and buffer to the Township's satisfaction, particularly along property lines adjoining residential properties.
- 13.5 The trash dumpster (currently depicted on the bottom left of the attached site plan) shall be relocated closer to the temple building to the satisfaction of the Township.

- 13.6 Property Owner agrees to install any additional stormwater management facilities deemed necessary due to the Proposed Improvements. Such stormwater management facilities shall be installed to the Township Engineer's satisfaction.
- 13.7 Property Owner agrees that any additional lighting required in association with the Proposed Improvements shall be installed, in accord with applicable Township Code, so as to ensure there is no improper light-spillage on adjoining properties. Such additional lighting shall be installed to the Township Engineer's satisfaction.
14. This Amended Stipulation contains the statement of each and every term and provision agreed to by all parties. No other promises, representations or other inducements, oral or written, have been made to any of the other parties in exchange for this Amended Stipulation.
15. The attorneys entering into this Amended Stipulation represent that they and their clients have full authority to enter into this Amended Stipulation and they have been authorized by their clients to enter into this Amended Stipulation.
16. This Amended Stipulation may be executed in one or more counterparts and by facsimile or electronic mail, each of which shall be deemed an original and all of which when taken together shall constitute a single agreement.
17. Each party shall bear its own costs as incurred.
18. This Amended Stipulation shall be binding upon, and inures to the benefit of the undersigned, their clients, successors, grantees, heirs and assigns.

[SIGNATURES ON NEXT PAGE]

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CARL N. WEINER  
*Attorney for Property Owner*

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MARY KAY KELM  
*Attorney for Montgomery Township  
Zoning Hearing Board*

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JOHN WALKO  
*Attorney for Montgomery Township*

**EXHIBIT "A"**  
*Site and Building Plans*







# BHARATIYA LEARNING CENTER

1612 COUNTYLINE RD, CHALFONT, PA 18914

FOR:

BHARATIYA TEMPLE @ P O BOX 463, MONTGOMERYVILLE, PA 18936



## LIST OF DRAWINGS

DRAWING #	DRAWING LIST	PERMIT SET	DRAWING #	DRAWING LIST	PERMIT SET
0100	GENERAL NOTES	07/15/2013	0100	GENERAL NOTES	07/15/2013
0200	ARCHITECTURAL		0200	ARCHITECTURAL	
0201	GENERAL NOTES		0201	GENERAL NOTES	
0202	FLOOR PLAN		0202	FLOOR PLAN	
0203	CEILING PLAN		0203	CEILING PLAN	
0204	WALL PLAN		0204	WALL PLAN	
0205	DOOR SCHEDULE		0205	DOOR SCHEDULE	
0206	WINDOW SCHEDULE		0206	WINDOW SCHEDULE	
0207	SECTION		0207	SECTION	
0208	DETAIL		0208	DETAIL	
0209	DETAIL		0209	DETAIL	
0210	DETAIL		0210	DETAIL	
0211	DETAIL		0211	DETAIL	
0212	DETAIL		0212	DETAIL	
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0214	DETAIL		0214	DETAIL	
0215	DETAIL		0215	DETAIL	
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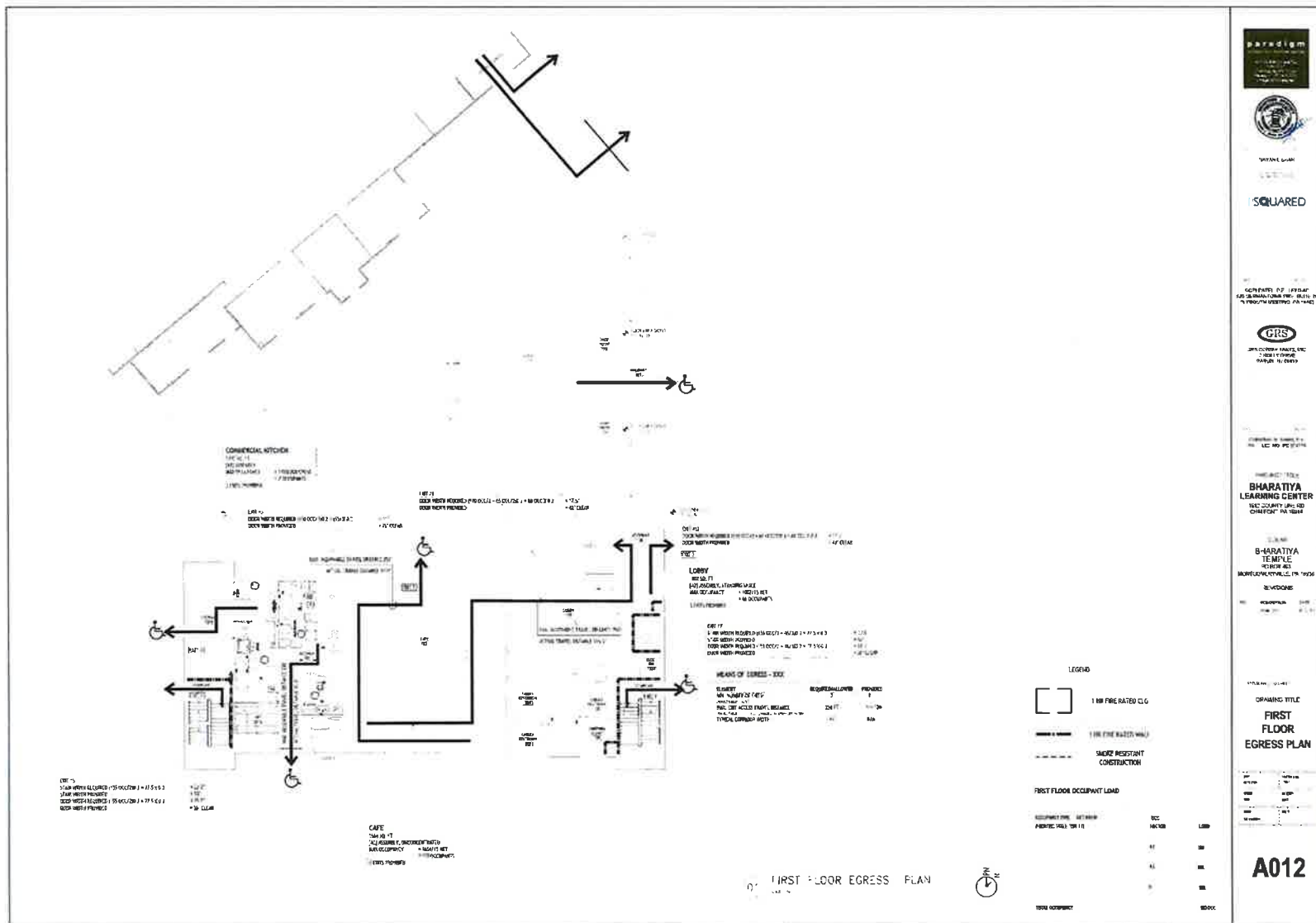
## LOCATION MAP



## CONSULTANTS

STRUCTURAL ENGINEER  
 GEOTECHNICAL ENGINEER  
 ELECTRICAL ENGINEER  
 MECHANICAL ENGINEER  
 PLUMBING ENGINEER  
 CIVIL ENGINEER  
 LANDSCAPE ARCHITECT  
 HISTORIC PRESERVATION  
 ENVIRONMENTAL ENGINEER  
 ARCHITECTURAL RENDERING  
 PHOTOGRAPHY  
 VIDEO PRODUCTION  
 WEBSITE DEVELOPMENT  
 SOCIAL MEDIA MARKETING  
 PUBLIC RELATIONS  
 COMMUNITY OUTREACH  
 FUNDRAISING  
 DONOR RELATIONS  
 EVENT MANAGEMENT  
 TRAVEL ARRANGEMENTS  
 TRANSPORTATION  
 SECURITY  
 INSURANCE  
 LEGAL COUNSEL  
 TAX COUNSEL  
 ACCOUNTING  
 FINANCIAL ANALYSIS  
 RISK MANAGEMENT  
 COMPLIANCE  
 GOVERNANCE  
 POLICY DEVELOPMENT  
 STRATEGIC PLANNING  
 EVALUATION  
 RESEARCH  
 CONSULTING  
 TRAINING  
 COACHING  
 MENTORING  
 SUPPORT SERVICES  
 OTHER AS NEEDED







MONTGOMERY TOWNSHIP BOARD OF SUPERVISORS

**BOARD ACTION SUMMARY**

Item #10

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SUBJECT:	Montgomery Township Emergency Management Radio System
MEETING DATE:	September 11, 2023
BOARD LIAISON:	Annette M. Long
INITIATED BY:	William Wiegman, Fire Chief

---

**BACKGROUND:**

The Township continues to engage in Continuity of Operations Planning to ensure that Township Governmental Services are not interrupted in the event of a disaster. Township emergency communication upgrades are needed to replace aging infrastructure and increase our current Township radio system's effectiveness, reliability, and range. The upgrades include the placement of a radio repeater and antenna at the new NWWA Water Tower at Airport Square.

NWWA has agreed to install the necessary radio antenna and cable. The cost to install the antenna and necessary cable for the radio repeater is \$20,300.00. NWWA will be responsible for installing the antenna and necessary cable from the top of the tank to the radio repeater located inside the tank. The final connection from the antenna to the cable will need to be made by an antenna specialty contractor.

**BUDGET IMPACT:**

The cost for NWWA to install the antenna and necessary cable is \$20,300.00. The BOS previously approved the purchase of emergency management digital system radio equipment in the amount of \$68,387.00 on April 24, 2023. Staff budgeted \$89,000.00 in the 2023 Capital Investment Plan for this purchase. The BOS also approved the installation of the radio conduit in the amount of \$58,472.28 on March 28, 2022.

**RECOMMENDATION:**

Staff recommends that the Board of Supervisors approve the payment of the cost for NWWA to install the antenna and necessary cable for \$20,300.00.

**MOTION/RESOLUTION:**

- 1) **Motion** to approve the payment of the cost for NWWA to install the antenna and necessary cable for \$20,300.00.
- 2) Motion by: \_\_\_\_\_ Second by: \_\_\_\_\_
- 3) Chairwoman will call for public comment.
- 4) Chairwoman will call for a vote.





To: Carroll Engineering Corp.  
949 Easton Rd  
Warrington, Pa. 18976

DATE: 08/14/23	JOB NO 2020044
ATTENTION: Lane Bodley	
RE: Install Antenna On Top Handrail Of Tank	
Request Number: RFCO 005	
Job Name: General Hancock NW Water tank	

1. Install 2" rigid conduit on top of tank to extend the 4" riser conduit to the new antenna location.  
Install antenna to handrail. Paint the conduit on the roof with caution yellow paint.  
The antenna and wire is supplied by others.  
Run new antenna wire to antenna controller location using existing conduit. No new conduit on ground level.

Note: Antenna and antenna wire is by others. It is assumed that the antenna will be mounted close to where the 4" riser conduit comes through the top of the tank.

**Request must be signed, dated and returned with a formal change order before any material will be purchased or work will begin**

**Remarks:**

Proceed with the work listed above singed : Dated:

COPY TO: \_\_\_\_\_ SIGNED: \_\_\_\_\_

**GENERAL HANCOCK TANK**  
**MJF ELECTRICAL CONTRACTING, INC. CHANGE ORDER NO 4**  
**MONTGOMERY TOWNSHIP CABLE, CONDUIT AND ANTENNA INSTALLATION**

Pull antenna cable from the existing radio repeater located at the base of the support structure through existing 4" conduit under the base slab, up the dry riser and access tube and through the existing sleeve penetration at the top of the tank. Transition from 4" conduit to 2" conduit and install 2' conduit from the sleeve penetration out to the tank handrail. Install supports off of the tank vent flange (see rough sketch detail of the attachment method). Connect conduit to handrail and mount the antenna on the existing handrail. See structural details.

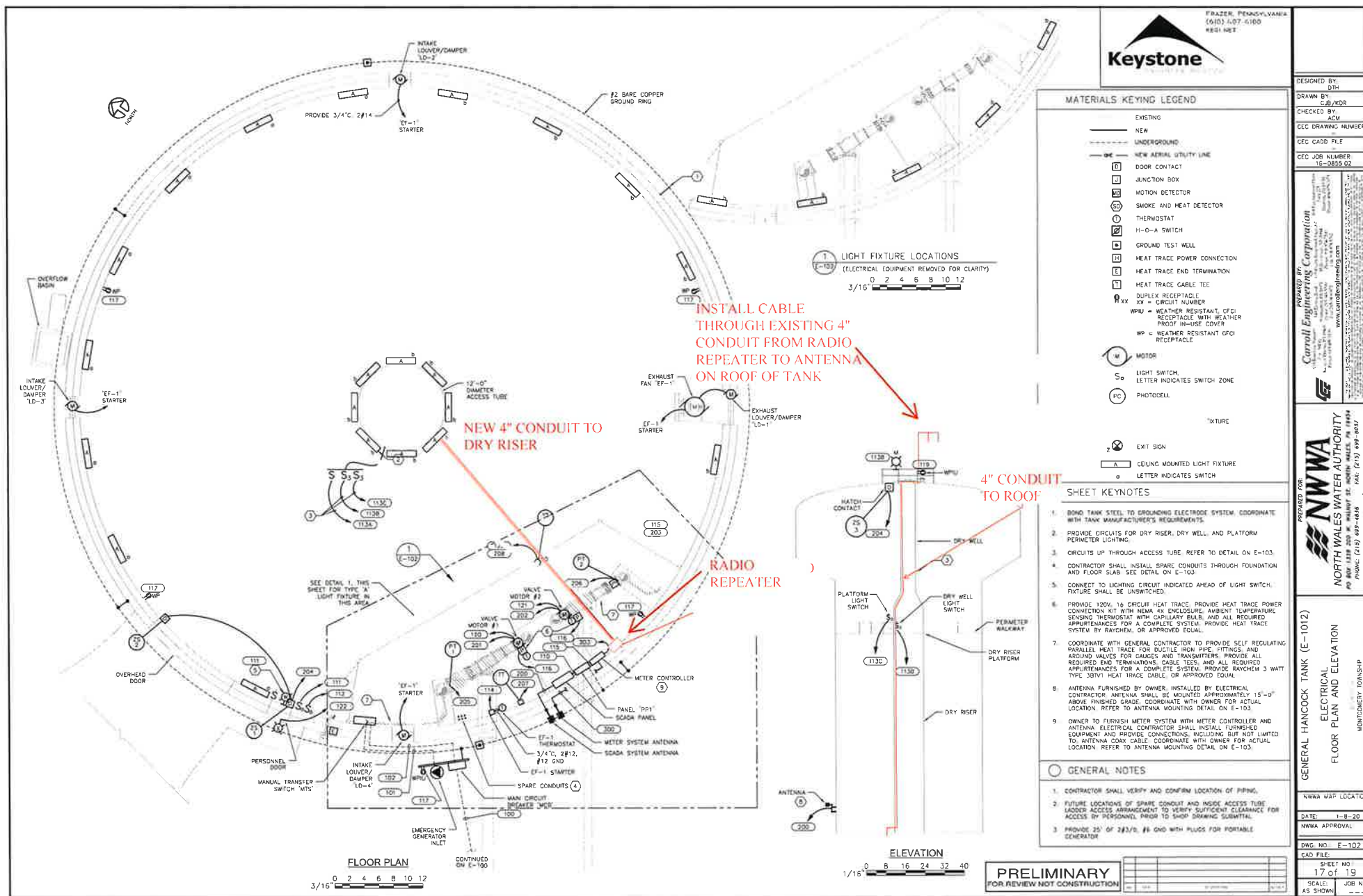
Provide submittals for conduit and other materials to be used prior to installation. Also confirm installation method for transition between 4" and 2" conduit and for 2" conduit to the handrail. all above grade conduit shall be galvanized rigid steel.

All structural steel materials shall be coated to prevent corrosion. Coat or mark 2" conduit with orange paint or outdoor tape to minimize tripping hazard. Provide coatings submittal.

Notify Authority Engineer at least 48 hours prior to performing work.

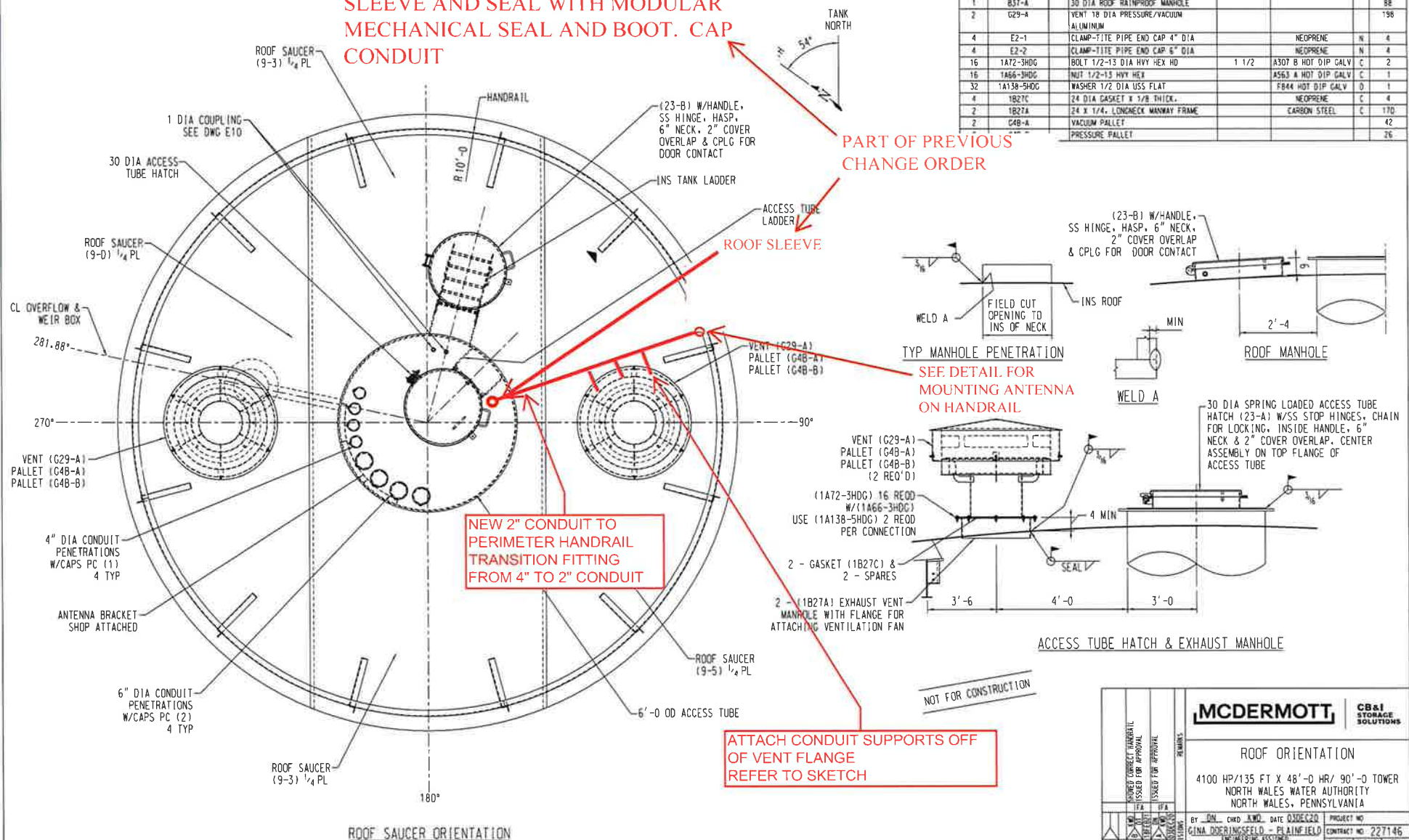
Cable and antenna are supplied by Montgomery Township. Final connections at both ends to be completed by a contractor hired directly by Montgomery Township.






EXTEND CONDUIT THROUGH NEW ROOF SLEEVE AND SEAL WITH MODULAR MECHANICAL SEAL AND BOOT. CAP CONDUIT

SHIP PK	MARK	ASSEMBLY	DESCRIPTION	LENGTH	SPEC	ID	EST. W LBS
1	B37-A		30 DIA ROOF RAINPROOF MANHOLE				88
2	G29-A		VENT 18 DIA PRESSURE/VACUUM ALUMINUM				198
4	E2-1		CLAMP-FITE PIPE END CAP 4" DIA		NEOPRENE	N	4
4	E2-2		CLAMP-FITE PIPE END CAP 6" DIA		NEOPRENE	N	4
16	147Z-3HDG		BOLT 1/2-13 DIA HYX HEX	1 1/2	A307 B HOT DIP GALV	C	2
16	1A66-3HDG		NUT 1/2-13 HWY HEX		A563 A HOT DIP GALV	C	1
32	1A138-3HDG		WASHER 1/2 DIA USS FLAT		F844 B HOT DIP GALV	D	1
4	1B27C		24 DIA GASKET 1/8" THICK.		NEOPRENE	C	4
2	1B27A		24 X 1/4" LONGNECK MANWAY FRAME		CARBON STEEL	C	170
2	G48-A		VACUUM PALLET				26
			PRESSURE PALLET				42



► INDICATES CHANGE FROM PREVIOUS ISSUE

		<b>CB&amp;I</b> <b>STORAGE</b> <b>SOLUTIONS</b>	
SHOWN CORRECT DRAWING ISSUED FOR APPROVAL		PLANS	
ROOF ORIENTATION		4100 HP/135 FT X 48'-0" HR/ 90'-0" TOWER NORTH WALES WATER AUTHORITY NORTH WALES, PENNSYLVANIA	
1" = 4'	1" = 4'	BY <u>DM</u> <u>CHD</u> <u>JWL</u> DATE <u>03/26/02</u> GINA ANDERINGSOELD - PLAINFIELD (PLAINFIELD, NEW JERSEY)	PROJECT NO CONTRACT NO: <u>2271146</u>
1" = 4'	1" = 4'	REV. NO. <u>2271146-000-PS-01-00E0202</u>	DWG. NO. <u>E2</u> SHEET NO. <u>REV B</u>
NOTES: 1. SEE ALL ATTACHED DRAWINGS. 2. THIS DRAWING, AND ALL REVISIONS, IS THE SOLE PROPERTY OF MCDERMOTT CORP. AND SHALL NOT BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF MCDERMOTT CORP.			

## Lane Bodley

---

**From:** Lane Bodley  
**Sent:** Monday, August 14, 2023 12:31 PM  
**To:** cgriffith@mjfelectric.com  
**Subject:** General Hancock Antenna Cable Conduit - Vent attachment

**Categories:** Filed by Newforma

Chris

See Below concept for attachment of the new conduit to the vent flange. Although the sketch indicates 4" conduit, which matches what was run up the inside dry riser and access tube, I believe you said you could go with 2" conduit, which makes sense for 7/8" cable.

Let me know also if you have any issues with the structural attachment sketch, I am assuming your crew is capable of this? It would need to be painted and I assume CB&I would have paint left on site.

**From:** Kyle@mbatanks.com <Kyle@mbatanks.com>  
**Sent:** Monday, August 14, 2023 12:03 PM  
**To:** Lane Bodley <LBODLEY@carrollengineering.com>  
**Subject:** Vent attachment

**External Sender - From:** ("Kyle@mbatanks.com" <Kyle@mbatanks.com>)

[Learn More](#)

This message came from outside your organization.

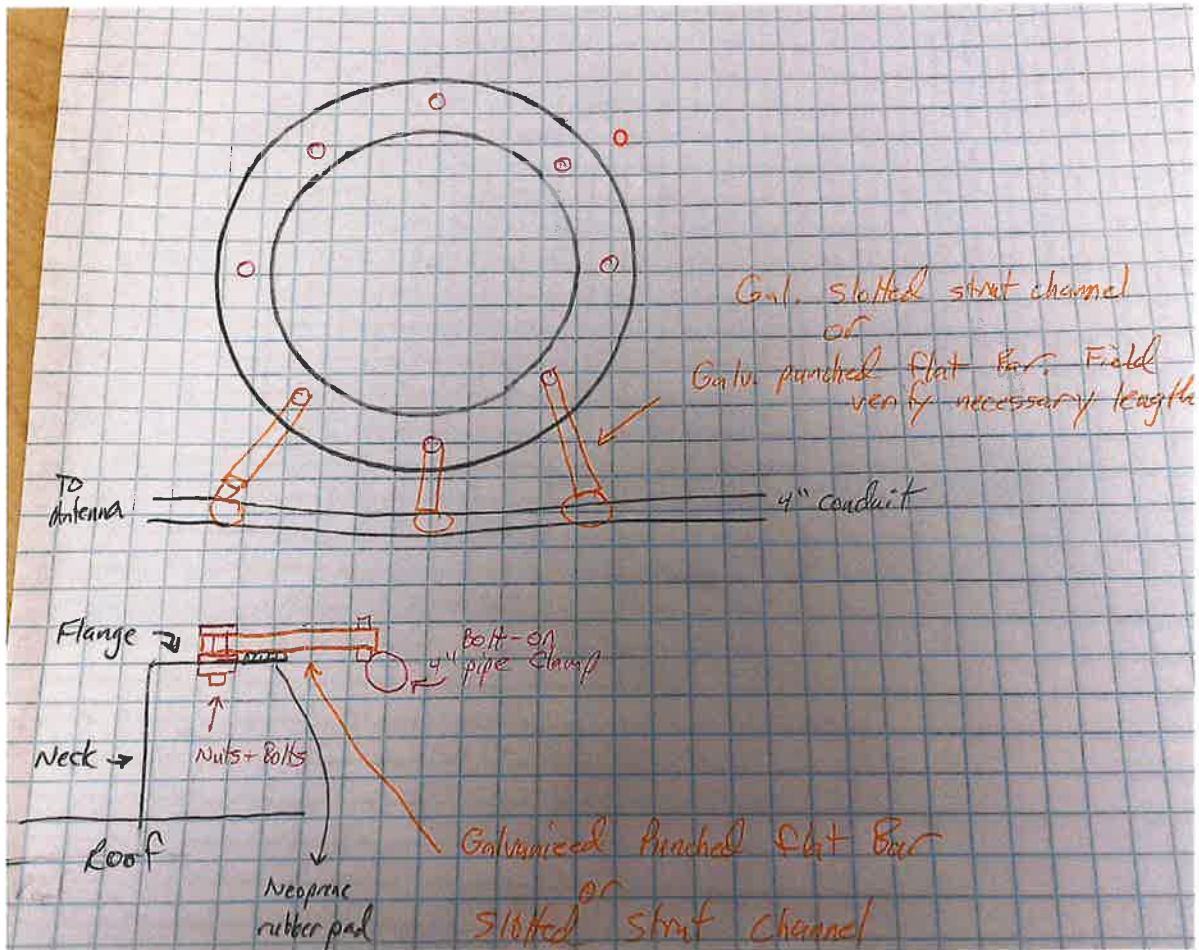
Lane,

Not a fan of running along top of flange, since if the vent has to come off in future it becomes an issue to do repairs and antenna work becomes involved. If mounting from flange, would recommend using a spacer and hang off existing nuts and bolts with punched flat bar, hanger, and neoprene if they can't get the flat bar flush with aluminum bottom of the vent neck.

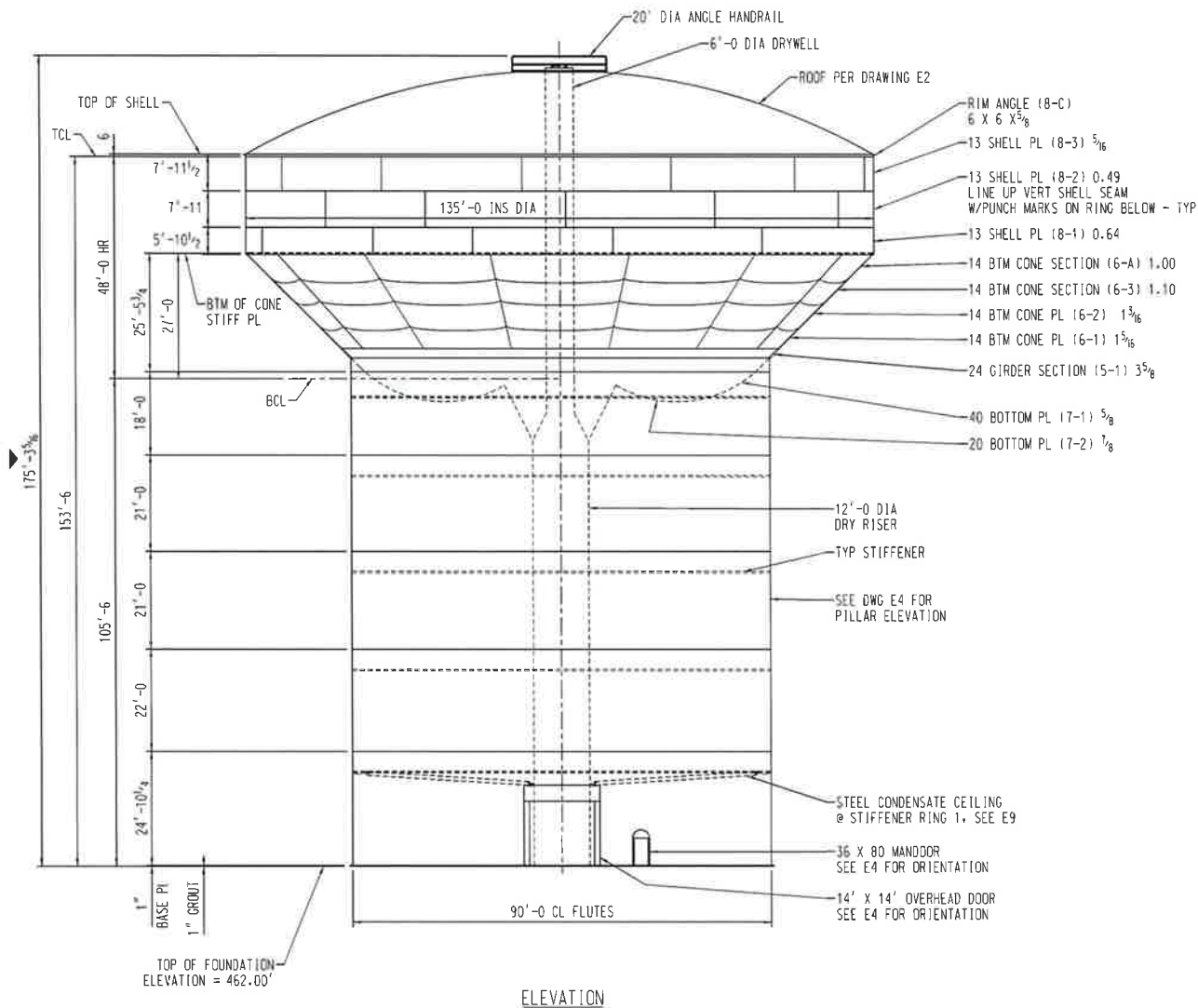
Kyle



# ROUGH SKETCH OF SUGGESTED ANTENNA CONDUIT ATTACHMENT TO VENT FLANGE




Maximum Structure Height with Township Antenna = 194 feet above base elevation of 462.00  
(22.23 feet above base of handrail)  
FAA approval pending as of 8/15/23



► INDICATES CHANGE FROM PREVIOUS ISSUE

GENERAL NOTES:

1. WELDING
  - A. WELD SPECS: AWWA D100-11.
  - B. ALL FIELD CONNECTIONS WELDED EXCEPT AS NOTED.
  - C. SEE DWG. E3 SHT 5 FOR FIELD WELDING NOTES.
2. TANK TESTING
  - A. SPOT X-RAY PER AWWA D100-11, CB&I CWS-830-15-PR-45034 & CB&I CWS-830-15-PR-45059.
  - B. CAUTION: DO NOT FILL TANK UNTIL GROUT HAS SET.
3. GRINDING REQUIREMENTS:
  - A. INSIDE WET: PER 'NACE D'
  - A. INSIDE DRY: PER 'NACE D'
  - A. EXTERIOR: PER 'NACE D'

		<b>CB&amp;I</b> <b>STORAGE</b> <b>INVENTORY</b>	
NORTH DIVISION EAST COASTOR COMENT NORTH DIVISION EAST COASTOR COMENT NORTH DIVISION EAST COASTOR COMENT		REQUIS	
MAIN ELEVATION			
4100 HP/135 FT X 48' HR/ 90'-0" TOWER NORTH WALES WATER AUTHORITY NORTH WALES, PENNSYLVANIA			
BY <u>DN</u> CHD <u>WJD</u> DATE <u>03DEC20</u> CINA DOERINGSEELD - PLAINFIELD DOERINGSEELD ASSIGNED	PROJECT NO CONTRACT NO <u>22714A</u>	DWG NO <u>      </u> SHT NO <u>      </u> REV <u>      </u> E1 1 D	
DOC NO <u>227146-000-PS-01-00E01I</u>		IS THE SALE PROPERTY OF MCDERMOTT COMPANY, AND SHALL NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC, MECHANICAL, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT PERMISSION AND WRITTEN PERMISSION.	



# Carroll Engineering

949 Easton Road, Warrington, PA 18976

Phone: 215-343-5700 Fax: 215-343-0875

www.carrollengineering.com

Duplication is a violation of the copyright laws.

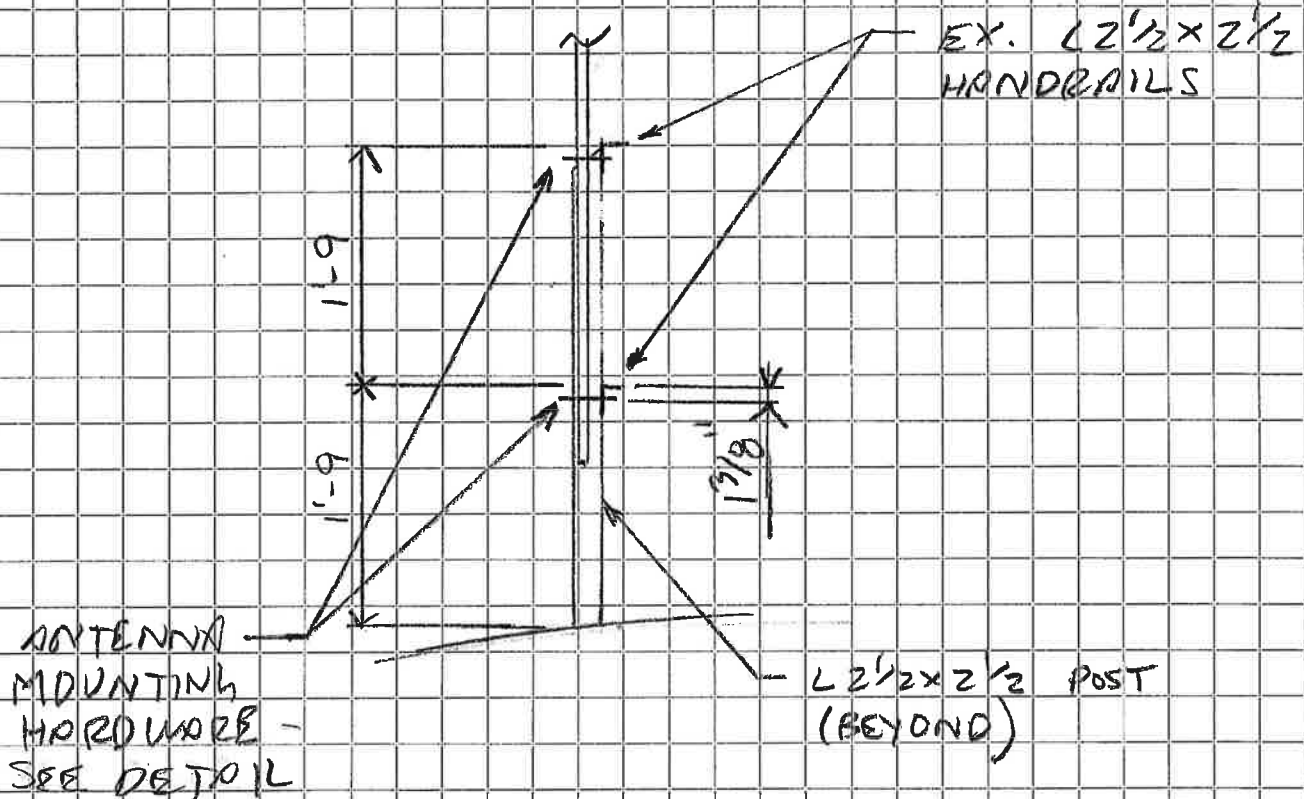
PROJECT GEN HADCOCK WATER TANK

JOB NO. 16-0855.03 SHEET NO. \_\_\_\_\_ OF \_\_\_\_\_

CALCULATED BY MA5 DATE 6/2/23

CHECKED BY \_\_\_\_\_ DATE \_\_\_\_\_

SCALE \_\_\_\_\_



ANTENNA ATTACHMENT SECTION

$\frac{3}{4}" = 1'-0"$





# Carroll Engineering

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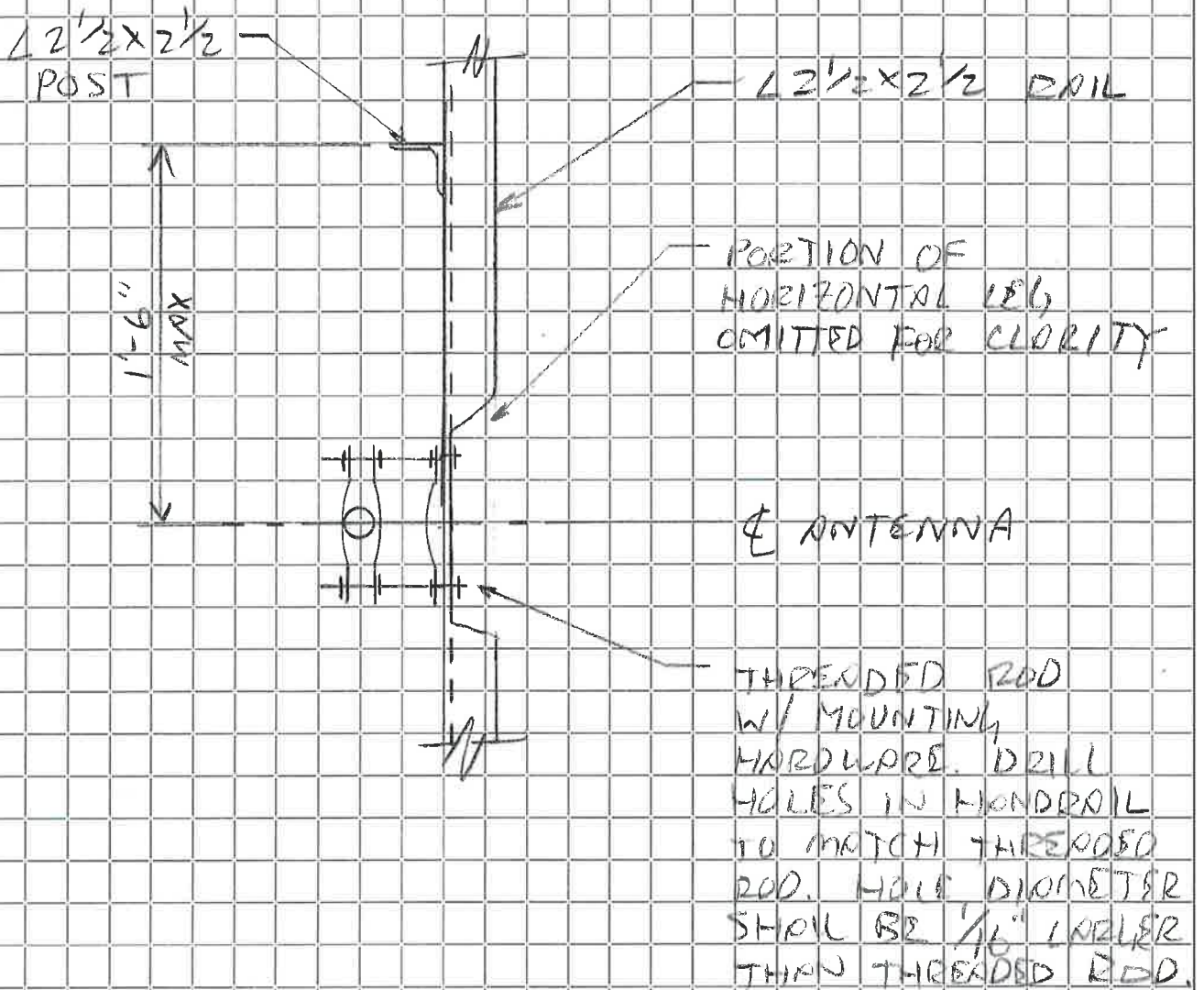
PROJECT GEN HANCOCK WATER TANK

JOB NO. 16-0855.03 SHEET NO.        OF       

CALCULATED BY MAF DATE 6/2/23

CHECKED BY        DATE       

SCALE       



ANTENNA ATTACHMENT DETAIL

$1\frac{1}{2}" = 1'-0$

## Lane Bodley

---

**From:** Lane Bodley  
**Sent:** Friday, August 11, 2023 9:58 AM  
**To:** cgriffith@mjfelectric.com  
**Subject:** FW: General Hancock Tank - Township Antennae  
**Attachments:** TRIM-SET-L78-C02.pdf; LCF78-50JA.pdf

Chris

See below and attached regarding the cable, which is on site.

If you need more information or want to confirm the required conduit size at the top of the tank or any other details, please contact Haydn Marriott, who is the sales rep/consultant to the Township for this equipment. He might be able to clarify any other details regarding connection to the base unit at the bottom of the tank. Darryl had indicated that you did not have the equipment to crimp this size cable, so the Township will need to coordinate that separately.

Thanks  
Lane

Lane P. Bodley, P.E.



949 Easton Road, Warrington, PA 18976  
215-343-5790  
[www.carrollengineering.com](http://www.carrollengineering.com)

**From:** Haydn Marriott <haydn@marriottsequip.com>  
**Sent:** Thursday, May 18, 2023 9:26 AM  
**To:** Lane Bodley <LBODLEY@carrollengineering.com>  
**Cc:** 'Christian Griffith' <cgriffith@mjfelectric.com>; joe@mjfelectric.com; 'Brad Fisher' <bfisher@nwwater.com>; 'Joe Murphy' <jmurphy@nwwater.com>; Kevin McClure <kmcclurewvfd@gmail.com>; Luke Noerpel (LN@jcc-ri.com) <ln@jcc-ri.com>; Cooper, Jonathan <jonathan.cooper@mcdermott.com>; Adam Menko <amenko@kegi.net>; Kevin McLaughlin <kmclaughlin@nwwater.com>; Tom Kehs <tkehs@optimumcontrols.com>; Darryl Hendershot <dhendershot@mjfelectric.com>; 'William Wiegman' <wwiegman@montgomerytp.org>  
**Subject:** RE: General Hancock Tank - Township Antennae

**NOTE:** This email originated outside of our organization. Be cautious with links or attachments that you were not expecting.

Attached is the manufacturers spec sheet on the cable as well as the required cable prep tool. These connectors do not crimp onto the coax as 7/8 coax is way too big for crimp ons. At the end of the cable spec sheet they have links to the connectors as well as a link to an installation video for the connectors.



*Haydn Marriott*

Marriott's Emergency Equipment, Owner

P.O. Box 1026

Skippack, Pa. 19474

610-584-1762v

[haydn@marriottsequip.com](mailto:haydn@marriottsequip.com)

[www.marriottsequip.com](http://www.marriottsequip.com)



CABLE FROM RADIO REPEATER TO ANTENNA.  
CABLE SUPPLIED BY MONTGOMERY TOWNSHIP  
FINAL CONNECTIONS BY TOWNSHIP CONTRACTOR.

CELLFLEX® 7/8" low loss flexible cable

FEATURES / BENEFITS

• **Ultra Low Attenuation**

The reduced attenuation of CELLFLEX® coaxial cable results in extremely efficient signal transfer in your RF system, especially at high frequencies.

• **Complete Shielding**

The solid outer conductor of CELLFLEX® coaxial cable creates a continuous RF/EMI shield that minimizes system interference.

• **Low VSWR**

Special low VSWR versions of CELLFLEX® coaxial cables contribute to low system noise.

• **Outstanding Intermodulation Performance**

CELLFLEX® coaxial cable's solid inner and outer conductors virtually eliminate intermods. Intermodulation performance is also confirmed with state-of-the-art equipment at the RFS factory.

• **High Power Rating**

Due to their low attenuation, outstanding heat transfer properties and temperature stabilized dielectric materials, CELLFLEX® cable provides safe long term operating life at high transmit power levels.

• **Wide Range of Application**

Typical areas of application are: feedlines for broadcast and terrestrial microwave antennas, wireless cellular, PCS and ESMR base stations, cabling of antenna arrays, and radio equipment interconnects



[External Document Links](#)

[CELLFLEX Drum Selection Guide](#)

[Notes](#)

## Technical features

### INFORMATION

Applications	Main feed line, intended for outdoor usage
--------------	--

### STRUCTURE

STRUCTURE		
Size		7/8
Inner Conductor Diameter	mm (in)	9.1 (0.358)
Inner Conductor Material		Copper Tube
Dielectric Diameter	mm (in)	21.5 (0.846)
Dielectric Material		Foam Polyethylene
Outer Conductor Diameter	mm (in)	25.2 (0.992)
Outer Conductor Material		Corrugated Copper
Jacket Diameter	mm (in)	27.8 (1.094)
Jacket Material		Black Polyethylene

### TESTING AND ENVIRONMENTAL

Phase Stabilized		Phase stabilized and phase matched cables and assemblies are available upon request.
Compliance		DIN EN ISO 9001:2015
		ISO 14001:2015
		RoHS 2011/65/EU - China RoHS SJ/T 11364-2006
		REACH (EC 1907/2006)
		UL1581 - UV Resistance Jacket
		IEC 60754-1/-2
Installation Temperature	°C(°F)	-40 to 60 (-40 to 140)
Storage Temperature	°C (°F)	-70 to 85 (-94 to 185)
Operation Temperature	°C(°F)	-50 to 85 (-58 to 185)

**ELECTRICAL SPECIFICATIONS**

Impedance	$\Omega$	50 +/- 1
Maximum Frequency	GHz	5
Velocity	%	88
Capacitance	pF/m (pF/ft)	74 (22.5)
Inductance	$\mu$ H/m ( $\mu$ H/ft)	0.185 (0.056)
Peak Power Rating	kW	85
RF Peak Voltage	Volts	2920
Jacket Spark	Volt RMS	8000
Inner Conductor dc Resistance	$\Omega$ /1000 m ( $\Omega$ /1000 ft)	2.04 (0.62)
Outer Conductor dc Resistance	$\Omega$ /1000 m ( $\Omega$ /1000 ft)	2 (0.61)
Passive Intermodulation PIM	typ. dBc	-160
Return Loss (VSWR) Performance	Standard 20dB (1.222) / Premium 23/24dB (1.152/1.135) on specified frequencies	

**MECHANICAL SPECIFICATIONS**

Cable Weight, Nominal	kg/m (lb/ft)	0.35 (0.23)
Minimum Bending Radius, Single Bend	mm (in)	120 (5)
Minimum Bending Radius, Repeated Bends	mm (in)	250 (10)
Bending Moment	Nm (lb-ft)	13 (10)
Tensile Strength	N (lb)	1440 (324)
Recommended / Maximum Clamp Spacing	m (ft)	0.8 / 1 (2.75 / 3.25)

**ATTENUATION @ 20°C (68°F) AND POWER RATING @ 40°C (104°F)**

Frequency, MHz	dB per 100m	dB per 100ft	Power, kW
1	0.11	0.03	85.00
100	1.13	0.35	8.8
200	1.62	0.49	6.14
450	2.47	0.75	4.02
700	3.12	0.95	3.19
800	3.36	1.02	2.96
900	3.57	1.09	2.78
1800	5.21	1.59	1.91
2000	5.53	1.68	1.80
2200	5.83	1.78	1.70
2400	6.12	1.86	1.62
2700	6.54	1.99	1.52
3000	6.94	2.11	1.43
3500	7.57	2.31	1.31
4000	8.17	2.49	1.22
5000	9.30	2.83	1.07



## RELATED PRODUCTS

Connector Interface	Standard Connector Series C03	Premium Connector Series E01	Premium Connector Series D01 *only on request
N Male	NM-LCF78-C03	NM-LCF78-E01	NM-LCF78-D01
N Female	NF-LCF78-C03	NF-LCF78-E01	NF-LCF78-D01
4.3-10 Male	43M-LCF78-C03	43M-LCF78-E01	43M-LCF78-D01
4.3-10 Female	43F-LCF78-C03	43F-LCF78-E01	43F-LCF78-D01
7/16 Male	716M-LCF78-C03	716M-LCF78-E01	716M-LCF78-D01
7/16 Female	716F-LCF78-C03	716F-LCF78-E01	716F-LCF78-D01
Mandatory Tool	TRIM-SET-L78-C02	TRIM-SET-L78-D01	
Tool Information	Universal Trimming Tool For *-C02 And *-C03 Connector Series		Universal Trimming Tool For *-D01 And *-E01 Connector Series
Installation Video	**LCF78-C03	**LCF78-E01	**LCF78-D01
General Accessories			
Hand Tool Kit		TRIM-T01	
Stripping Tool For Grounding Kits		JSTRIP-78-2	
Grounding Kit		GKSPEED20-78P	

# DB224-A

## PROPOSED ANTENNA TO BE MOUNTED OFF OF HANDRAIL ANTENNA SUPPLIED BY MONTGOMERY TOWNSHIP



1-port omni exposed dipole antenna, 150–160 MHz, 360° HPBW, fixed electrical tilt

- Broad response
- Two-piece mast for ease of shipping

### General Specifications

<b>Antenna Type</b>	Omni
<b>Band</b>	Single band
<b>Color</b>	Silver
<b>Grounding Type</b>	RF connector inner conductor and body grounded to reflector and mounting bracket
<b>Performance Note</b>	Outdoor usage
<b>Radiator Material</b>	Aluminum
<b>RF Connector Interface</b>	N Male
<b>RF Connector Location</b>	Bottom
<b>RF Connector Quantity, low band</b>	1
<b>RF Connector Quantity, total</b>	1

### Dimensions

<b>Length</b>	6477 mm   255 in (21.25 FEET)
<b>Net Weight, without mounting kit</b>	15.9 kg   35.053 lb

### Electrical Specifications

<b>Impedance</b>	50 ohm
<b>Operating Frequency Band</b>	150 – 160 MHz
<b>Polarization</b>	Vertical

### Electrical Specifications

<b>Frequency Band, MHz</b>	150–160
<b>Gain, dBi</b>	8.1
<b>Beamwidth, Horizontal, degrees</b>	360
<b>Beamwidth, Vertical, degrees</b>	16

# DB224-A

---

<b>Beam Tilt, degrees</b>	0
<b>VSWR   Return loss, dB</b>	1.5   14.0
<b>Input Power per Port, maximum, watts</b>	500

## Mechanical Specifications

<b>Wind Loading @ Velocity, maximum</b>	560.5 N @ 100 mph (126.0 lbf @ 100 mph)
<b>Wind Speed, maximum</b>	130 km/h   80.778 mph

## Regulatory Compliance/Certifications

<b>Agency</b>	<b>Classification</b>
ISO 9001:2015	Designed, manufactured and/or distributed under this quality management system



## Included Products

DB365-OS	— Pipe Mounting Kit that consists of two clamps for mounting antennas to round members 1.25 - 3.5 in (35 - 89 mm) OD round members.
----------	---

## \* Footnotes

<b>Performance Note</b>	Severe environmental conditions may degrade optimum performance
-------------------------	---

# DB365-05

---

Pipe Mounting Kit that consists of two clamps for mounting antennas to round members 1.25 - 3.5 in (35 - 89 mm) OD round members.

## Product Classification

**Product Type** Pipe mount kit

## General Specifications

**Application** Outdoor

**Color** Silver

## Dimensions

**Compatible Diameter, maximum** 88.9 mm | 3.5 in

**Compatible Diameter, minimum** 33 mm | 1.299 in

**Weight, net** 3.2 kg | 7.055 lb

## Material Specifications

**Material Type** Galvanized steel

## Packaging and Weights

**Included** Brackets | Hardware

**Packaging quantity** 2

**Weight, gross** 3.6 kg | 7.937 lb

## Regulatory Compliance/Certifications

Agency	Classification
CE	Compliant with the relevant CE product directives
CHINA-ROHS	Below maximum concentration value
ISO 9001:2015	Designed, manufactured and/or distributed under this quality management system
REACH-SVHC	Compliant as per SVHC revision on <a href="http://www.commscope.com/ProductCompliance">www.commscope.com/ProductCompliance</a>
ROHS	Compliant



MONTGOMERY TOWNSHIP BOARD OF SUPERVISORS

**BOARD ACTION SUMMARY**

Item #11

---

**SUBJECT:** Request Authorization to Purchase and Install New Lockers and Flooring  
Request Authorization to Donate Used Lockers  
**MEETING DATE:** September 11, 2023  
**BOARD LIAISON:** Annette M. Long, Public Safety Committee Liaison  
**INITIATED BY:** J. Scott Bendig, Chief of Police

---

**BACKGROUND:**

The Police Department is proposing purchasing and installing new lockers and flooring in the men's and women's locker rooms. The flooring and lockers are original to when the municipal facility was constructed in 1992.

Attached are the following quotes:

- August 21, 2023, from P.C. Curry Floor Coverings, an authorized vendor under the Co-Stars Cooperative Purchase Program (Contract #008-E23-1045), to provide the requested flooring and installation at a total cost of \$15,690.00.
- August 16, 2023, from Robinson Steel Company, an authorized vendor under the Co-Stars Cooperative Purchase Program (Contract # 014-E22-256), to provide the requested lockers and installation at a total cost of \$29,985.00

The total cost of purchasing and installing new lockers and flooring in the men's and women's locker rooms is \$45,675.00.

Additionally, authorization is requested to donate the used lockers to the Carpentry Vocational Program at the North Montco Technical Career Center, as permitted under Section 1504.C.2 of the Pennsylvania Second Class Township Code.

**BUDGET IMPACT:**

\$106,000.00 was included in the 2023 Approved Final Budget-Buildings and Grounds- Capital. This funding has been allocated for these renovations and other forthcoming building renovation projects scheduled for later this calendar year.

**RECOMMENDATION:**

It is recommended that the Board of Supervisors authorize the purchases and installation at a total cost of \$45,675.00.



MOTION/RESOLUTION:

**Motion** to award the contract for the purchase of the requested flooring and installation to P.C. Curry Floor Coverings, an authorized vendor under the Co-Stars Cooperative Purchase Program (Contract #008-E23-1045), at a total cost of \$15,690.00.

1. Motion by:\_\_\_\_\_ Second by:\_\_\_\_\_
2. Chairwoman will ask for public comment.
3. Chairwoman will call for a vote.

**Motion** to award the contract for the purchase of the requested lockers and installation to Robinson Steel Company, an authorized vendor under the Co-Stars Cooperative Purchase Program (Contract # 014-E22-256), at a total cost of \$29,985.00.

1. Motion by:\_\_\_\_\_ Second by:\_\_\_\_\_
2. Chairwoman will ask for public comment.
3. Chairwoman will call for a vote.

**Motion** to authorize the donation of the used lockers to the Carpentry Program at the North Montco Technical Career Center, as permitted under Section 1504.C.2 of the Pennsylvania Second Class Township Code.

1. Motion by:\_\_\_\_\_ Second by:\_\_\_\_\_
2. Chairwoman will ask for public comment.
3. Chairwoman will call for a vote.



**P.C.  
CURRY**  
FLOOR  
COVERING  
INC

Phone: 610-935-4811 Fax: 610-935-3438

15 Chrisevyn Lane  
Phoenixville, PA 19460

## Proposal

Co-Stars 008-E23-1045



Date: August 21, 2023

Attn: Montgomery Twp Police Department  
Attn: Lt. Wm Peoples  
[wpeoples@montpd.org](mailto:wpeoples@montpd.org)  
215-362-6383

Job: 1001 Stump Rd, Montgomeryville, PA 18936

### Demo

Men's Locker Room	\$ 550.00
Women's Locker Room	\$ 200.00
<b>Prep Sub Floor (skim coat)</b>	
Men's Locker Room	\$ 700.00
Women's Locker Room	\$ 250.00

Furnish & Install Tarkett Inertia Sports Flooring INRH-LB8 Vortex Rubber Tile  
w/4" Black Cove Base

Men's Locker Room	\$ 9,790.00
Women's Locker Room	<u>\$ 4,200.00</u>

**Total Amount** **\$15,690.00**

### PRICING IS GOOD FOR 30 DAYS

All Material Ordered are Non-refundable / Non-returnable

**Payment Terms: 50% Deposit, Balance Due Upon Completion**  
**Credit Card 3% Convenience Fee**

Approved By: \_\_\_\_\_

Date: \_\_\_\_\_



**Robinson Steel Company**  
220 Ford St., Norristown, Pa. 19401  
Phone: 610-755-5767 Fax:

**Sold To**

Montgomery Township PD  
William Peoples  
1001 Stump Rd.  
Montgomeryville, Pa 18936  
Phone: 215-362-2301  
Fax:

Date 8/16/2023

Quote No GS-1093

Job Name

---

**Quotation**

---

We are pleased to quote the following:

Men's locker room

1) 37 each frames of a Penco "Vanguard" single tier locker @ 24"w x 24"d x 72"h, with 6"h legs, recessed handle, double doors, full door louvers, continuous sloped hood, 16 gauge exposed end panels, extra shelf , slope top corner fillers, vertical angle fillers, name plate holders

2) 2 each 6'L x 9.5"D hardwood top benches and painted tubular steel pedestals

3) 6 each frames of a Penco "Vanguard" single tier locker @ 15"w x 18"d x 72"h, with 6"h legs, recessed handle, full door louvers, continuous sloped hood, 16 gauge exposed end panels, extra shelf, name plate holders

Women's locker room

1) 7 each frames of a Penco "Vanguard" single tier locker @ 24"w x 24" x 72"h, with 6"h legs, recessed handle, full door louvers, continuous sloped hood, 16 gauge exposed end panels, extra shelf, name plate holders

Furnish material, delivery and installation.....\$29,985.00

\* quote valid for 30 days

\* add Pa. tax to above costs unless tax exempt

\* installation costs based on non union, open shop wages

\* Finish: exterior = #028 gray , interior = #073 champagne

\* Production lead time: currently 11-12 weeks manufacturing lead time, transit time not included, installation to then be scheduled

Robinson Steel COSTAR account # - 014-E22-256



**Robinson Steel Company**  
220 Ford St., Norristown, Pa. 19401  
Phone: 610-755-5767 Fax:

**Sold To**

Montgomery Township PD  
William Peoples  
1001 Stump Rd.  
Montgomeryville, Pa 18936  
Phone: 215-362-2301  
Fax:

Date 8/16/2023

Quote No GS-1093

Job Name

---

See Last Page for Conditions

---

Payment Terms TBD

FOB Point

Shipping Terms 3rd Party Billing

Ship Via R & L Freight

Shipment

**Robinson Steel Company**

**George Stairiker**

220 Ford St., Norristown, Pa. 19401

Phone: 610-755-5767

Fax:

Email: george@rsclockers.com

Orig. Creation Date: 7/19/2023, Software Version: 5.4, Data version: 9

*Penco Products Standard Terms and Conditions Apply can be found at  
[www.pencoproducts.com](http://www.pencoproducts.com)*

*•Estimate is based on the information provided and is subject to adjustments. It is the distributor's responsibility to verify product and quantities for accuracy.*

*•Due to increases in raw material costs, estimate is valid for 30 days. You must submit your order within these 30 days to maintain pricing.*

*•Freight, installation, and taxes are extra unless itemized in the quotation. If Freight is quoted it is our best estimate and will be billed at the actual cost at time of shipment.*

*•All orders are subject to credit review before being accepted.*

*•If a Steel Surcharge is quoted it is the current surcharge, you will be notified of the actual surcharge if any at the time of production release.*

*•If you are ordering a Vanguard or Guardian Lockers it will come standard with Common Color Body Parts. If you select a full color option it will add 5% or \$500 whichever is greater to your order.*

*•Price Protection applies to anything with a ship date 12 months or greater from the estimate date: 5% - 12+ months, 7.5% 18+ months, and 10% 24 + months.*

*We are pleased to quote the following:*

MONTGOMERY TOWNSHIP BOARD OF SUPERVISORS

BOARD ACTION SUMMARY

Item #12

---

SUBJECT: Award Bid for ADA Upgrades at Bethlehem Pike/Gwynedd Crossing  
MEETING DATE: September 11, 2023  
BOARD LIAISON: Annette M. Long  
INITIATED BY: Greg Reiff, Public Works Director

---

BACKGROUND:

The Board of Supervisors previously authorized the bid for this project after the Police Chief and Township Manager addressed several pedestrian-related accidents at this intersection. The bid was properly advertised and placed on PennBid on August 11, 2023. Bids were opened on September 8, 2023, at 11:00 AM at the Township Building. Four bids were received ranging from \$79,498.80 to \$236,960.50.

BUDGET IMPACT:

The project had an estimated budget of \$70,000.00

RECOMMENDATION:

We recommend the Board award the bid to Marino Corporation.

MOTION/RESOLUTION:

**Motion** to award the bid for the ADA upgrades at Bethlehem Pike and Gwynedd Crossing/English Village to Marino Corporation, the lowest responsible bidder in the amount of \$79,498.80 per the recommendation of Gilmore & Associates, Township Traffic Engineer.

- 1) Motion by: \_\_\_\_\_ Second by: \_\_\_\_\_
- 2) Chairwoman will ask for public comment.
- 3) Chairwoman will call for a vote.



September 8, 2023

File No. 22-02069

Carolyn McCreary, Manager  
Montgomery Township  
1001 Stump Rd  
Montgomeryville, PA 18936

Reference: ADA Upgrades at Bethlehem Pike (SR 0309) and Gwynedd Crossing Dr/English Village Dr  
Contract 2022-02069 - Bid Tabulation & Award Recommendation  
Montgomery Township, Montgomery County, PA

Dear Ms. McCreary:

Pursuant to your request, Gilmore & Associates, Inc. has reviewed the bids submitted for the above referenced project. The Township received a total of four (4) bids for this project. Bids were publicly opened on September 8, 2023, at 10:00 AM. A copy of the bid tabulation has been attached for your review.

Upon examination, we have determined Marino Corporation is the low bidder for the project. All required bid documents were properly completed, and a bid bond was included. As such, we recommend that the contract for the ADA Upgrades at Bethlehem Pike (SR 0309) and Gwynedd Crossing Dr/English Village Dr be awarded to Marino Corporation for all items included under the Base Bid in the amount of **\$79,498.80**, subject to the review by the Township Solicitor.

Should you have any further questions or require any additional information, please do not hesitate to contact Leslie Bogdnoff ([lbogdnoff@gilmore-assoc.com](mailto:lbogdnoff@gilmore-assoc.com)) or myself.

Sincerely,

Damon Drummond, P.E., PTOE  
Senior Transportation Engineer  
Gilmore & Associates, Inc.

Enclosures: As Referenced

DAD/lrb

cc: Greg Reiff, Montgomery Township Public Works Director  
John F. Walko, Montgomery Township Solicitor  
Deb Rivas, Administration Supervisor, Montgomery Township  
Stacey A. Rymkiewicz, Public Works Department Administrative Assistant, Montgomery Township  
Jim Dougherty, P.E., Gilmore & Associates, Inc.  
Leslie Bogdnoff, P.E., Gilmore & Associates, Inc.  
Ashely Kennard, E.I.T., Gilmore & Associates, Inc.

GILMORE & ASSOCIATES, INC.  
&A BID TABULATION

CLIENT:  
Montgomery Township  
PROJECT NAME:  
ADA Upgrades at Bethlehem Pike (SR 0309) and Gwynedd Crossing Drive/English Village Drive  
PROJECT NUMBER:  
22-02069  
PROJECT BID DATE:  
September 8, 2023

<b>Marino Corporation</b>  1400 Cressman Road Skippack, PA 19474 Ric Marino 610-584-1800	<b>Albert G. Cipolloni Jr &amp; Sons, Inc.</b>  719 Highland Avenue Morton, PA 19070 Carol Cipolloni 610-543-1816	<b>Road-Con, Inc.</b>  902 Camaro Run Drive West Chester, PA 19380 Albert Hoffman 610-429-8089	<b>DePaul And Company Inc.</b>  1000 Germantown Pike, Suite D4 Plymouth, PA 19462 Chris DePaul 610-584-1800
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Reference Number	Description	Type	UOM	Quantity								
0608-0001	Mobilization	Base	LS	1	\$10,800.00	\$10,800.00	\$7,800.00	\$7,800.00	\$7,500.00	\$7,500.00	\$10,000.00	\$10,000.00
0901-0001	Maintenance and Protection of Traffic	Base	LS	1	\$5,640.00	\$5,640.00	\$7,300.00	\$7,300.00	\$25,000.00	\$25,000.00	\$40,000.00	\$40,000.00
0203-0003	Class 1A Excavation	Base	CY	8	\$360.00	\$2,880.00	\$600.00	\$4,800.00	\$250.00	\$2,000.00	\$300.00	\$2,400.00
4630-0010	Plain Cement Concrete Curb, Including Removal and Restoration	Base	LF	42	\$344.00	\$14,448.00	\$200.00	\$8,400.00	\$470.00	\$19,740.00	\$400.00	\$16,800.00
0676-0001	Cement Concrete Sidewalk	Base	SY	17	\$488.00	\$8,296.00	\$600.00	\$10,200.00	\$800.00	\$13,600.00	\$4,700.00	\$79,900.00
0695-0004	Detectable Warning Surface, Polymer Composite	Base	SF	10	\$48.00	\$480.00	\$200.00	\$2,000.00	\$66.00	\$660.00	\$90.00	\$900.00
0931-0001	Post Mounted Signage	Base	SF	43	\$80.00	\$3,440.00	\$25.00	\$1,075.00	\$75.00	\$3,225.00	\$67.00	\$2,881.00
0936-0200	Structure Mounted Signage	Base	SF	8	\$68.00	\$544.00	\$72.00	\$576.00	\$75.00	\$600.00	\$43.00	\$344.00
4951-4112	Pedestrian Stub Pole, Type B, Powder Coated	Base	EA	2	\$2,040.00	\$4,080.00	\$2,160.00	\$4,320.00	\$2,250.00	\$4,500.00	\$2,500.00	\$5,000.00
0954-0012	2 Inch Conduit	Base	LF	36	\$12.00	\$432.00	\$12.00	\$432.00	\$12.50	\$450.00	\$100.00	\$3,600.00
0954-0013	3 Inch Conduit	Base	LF	10	\$17.00	\$170.00	\$18.00	\$180.00	\$18.75	\$187.50	\$100.00	\$1,000.00
0954-0151	Trench and Backfill, Type I	Base	LF	36	\$34.00	\$1,224.00	\$36.00	\$1,296.00	\$37.50	\$1,350.00	\$103.00	\$3,708.00
0954-0201	Signal Cable, 14 AWG, 3 Conductor	Base	LF	225	\$5.20	\$1,170.00	\$5.40	\$1,215.00	\$5.60	\$1,260.00	\$12.70	\$2,857.50
0954-0202	Signal Cable, 14 AWG, 5 Conductor	Base	LF	250	\$5.80	\$1,450.00	\$6.00	\$1,500.00	\$6.25	\$1,562.50	\$14.00	\$3,500.00
0954-0305	Junction Box, JB-30	Base	EA	1	\$1,280.00	\$1,280.00	\$1,320.00	\$1,320.00	\$1,375.00	\$1,375.00	\$2,800.00	\$2,800.00
0955-3722	Hand/Man Pedestrian Signals with Countdown Timer	Base	EA	2	\$740.00	\$1,480.00	\$780.00	\$1,560.00	\$810.00	\$1,620.00	\$1,100.00	\$2,200.00
0956-0790	Accessible Pedestrian Signals	Base	EA	2	\$1,526.00	\$3,052.00	\$1,620.00	\$3,240.00	\$1,700.00	\$3,400.00	\$4,500.00	\$9,000.00
0960-0021	24" White Hot Thermoplastic Pavement Markings	Base	LF	216	\$10.80	\$2,332.80	\$12.00	\$2,592.00	\$12.50	\$2,700.00	\$10.00	\$2,160.00
0963-0006	6" Pavement Marking Removal	Base	LF	311	\$5.00	\$1,555.00	\$10.80	\$3,358.80	\$11.00	\$3,421.00	\$10.00	\$3,110.00
9000-0001	Grading and Restoration of Disturbed Areas During Construction	Base	LS	1	\$2,800.00	\$2,800.00	\$4,500.00	\$4,500.00	\$12,500.00	\$12,500.00	\$7,800.00	\$7,800.00
9000-0002	Pedestrian Intercept Module	Base	EA	1	\$9,800.00	\$9,800.00	\$10,500.00	\$10,500.00	\$10,900.00	\$10,900.00	\$28,000.00	\$28,000.00
9000-0003	Signal Timing Modifications	Base	LS	1	\$1,580.00	\$1,580.00	\$1,680.00	\$1,680.00	\$1,750.00	\$1,750.00	\$2,500.00	\$2,500.00
9952-3000	Remove Existing Traffic Signal Equipment	Base	LS	1	\$565.00	\$565.00	\$600.00	\$600.00	\$625.00	\$625.00	\$6,500.00	\$6,500.00
					\$79,498.80		\$80,444.80		\$119,926.00		\$236,960.50	

COMPLETENESS REVIEW	Marino Corporation	Albert G. Cipolloni Jr & Sons, Inc.	Road-Con, Inc.	DePaul And Company Inc.
A. Bid Form	X	X	X	X
B. Bid Bond	X	X	X	X
C. Agreement of Surety	X	X	X	X
D. Bidder Acknowledgement Form	X	X	X	X
E. Bidder's Qualification Form	X	X	X	X
F. Non-Collusion Affidavit	X	X	X	X
G. Public Works Verification Form	X	X	X	X

**MONTGOMERY TOWNSHIP BOARD OF SUPERVISORS**  
**BOARD ACTION SUMMARY**  
Item #13

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SUBJECT: Approve Fall 2023 Recreation Programs & Fee Schedule  
MEETING DATE: September 11<sup>th</sup>, 2023  
BOARD LIAISON: Annette Long  
INITIATED BY: Angelina Capozzi, Community & Recreation Center Program Supervisor  
Floyd S. Shaffer, Community & Recreation Center Director

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**BACKGROUND:**

Attached is the proposed lineup of activities at the Montgomery Township Community and Recreation Center (Mont CRC) for Fall 2023 season. The recommended fees/charges for each program/event are also included. The schedule will be valid from September 11th through December 31st, 2023. All Mont CRC activities and events will be promoted through our normal publicity channels as well as social media.

The lineup of activities, programs, and special events provides a diverse menu of recreational opportunities. A wide array of healthy fitness sessions, fun community special events, and positive educational programs will be available for individuals of all ages and abilities within the Montgomery Township area.

**BUDGET IMPACT:**

Recreation opportunities are expected to be budget neutral.

**RECOMMENDATION:**

Approve the Fall 2023 Recreation Programs and Fees Schedule amendment as submitted.

**MOTION/RESOLUTION:**

**Motion** to approve the 2023 Fall Recreation Programs and Fee Schedule amendment as submitted.

- 1) Motion by: \_\_\_\_\_ Second by: \_\_\_\_\_
- 2) Chairwoman will call for public comment.
- 3) Chairwoman will call for a vote.



**Fall 2023 Recreation Activities**

Name or Activity	Instructors	Ages	When	Times	Cost Resident	Cost Non-Resident
<b>Pre-School Programs (0-5)</b>						
Coloring with a Cop	In-House (Angelina & Officer Jonhson)	All Ages	Wednesday November 15th	10:00 am - 10:45 am	No Charge	No Charge
Coloring with Firefighters	In-House (Angelina & Firefighters)	All Ages	Tuesday November 14th	10:00 am - 10:45 am	No Charge	No Charge
Get up and Move	In-House (Angelina)	Ages 1-3	Tuesdays, Starting September 5th	10:00 am - 10:45 am	\$40	\$40
Kids in Nature (national play outside day)	In-House (Angelina)	Ages 2-5	September 2nd 10:00 am - 10:45 am	10:00 am - 10:45 am	\$10	\$12
Messy Art	In-House (Angelina)	Ages 2-4	Thursday 11:00 am - 11:45 am	10:00 am - 10:45 am	\$40	\$45
Soccer League	Soccer Shots	Ages 2-5	Friday, Saturdays, Sunday	Varies	\$130	\$135
Story Time	North Wales Library	All Ages	Wednesdays 10:00 am - 10:30 am	10:00 am - 10:45 am	No Charge	No Charge
Superstar Sports Minis	In-House (Angelina)	Ages 3-6	Thursdays 4:00 pm - 4:45 pm (3 weeks)	3:00 pm - 3:45 pm	\$30	\$35
Toddler Tech	North Wales Library	All Ages	Wednesdays 10:00 am - 11:00 am	10:00 am - 10:45 am	No Charge	No Charge
<b>Youth Programs (5-12)</b>						
Basketball Skills and Drills	In-House (Angelina & Brian)	Ages 6-8	Wednesdays in September	9:00 am - 9:45 am	\$30	\$35
Cheerleading	(Angelina and Jill)	Ages 5-8	Saturday, Sept 30th	Senior Lounge	\$10	\$10
Chess Club	Chess Wizards	Ages 8-12	Mondays 8 Week Session 9/11 - 11/13	4:30 - 5:30 pm	\$270	\$270
Dance Class	In-House (Audrey)	Ages 6-12	December	5:00 pm - 6:00 pm	\$10	\$10
Flag Football	In-House (Brian)	Ages 5-8	Mondays 9/18 - 11/20	4:30 pm - 9:00pm	\$75	\$80
Homeschool Heros (gym, art, nature)	In-House (Angelina)	Ages 6-12	Wednesdays,	1:00 pm - 2:00 pm	\$30	\$30
Jewelry Design	In-House (Angelina)	Ages 6-8	Wednesdays, Oct 18th- Nov 1st	5:00 pm - 5:45 pm	\$30	\$35
Paint Party	Unwind & Paint	Ages 5-12	Sundays once a month	9:00 am - 10:30 am	\$12	\$18
Pottery Class	InDi Designs	Ages 6 +	Saturday, November 11th	10:00 am - 12:00 pm	\$40	\$45
Robot	Minds In Motion	Ages 7-11	Thursdays, November 2nd - November 30th	5:00 pm - 7:00 pm	\$140	\$145
Soccer League	Soccer Shots	Ages 5-8	Fridays, Saturdays or Sundays	Varies	\$130	\$135
Soccer Skills and Drills	In-House (Angelina & Brian)	Ages 5-8	Thursdays, November 2nd - November 16th	5:00 - 6:00 pm	\$30	\$35
Super Star Sports	In-House (Angelina & Brian)	Ages 6-8	Thursdays, September 28th - October 12th	5:00 pm - 5:45 pm	\$30	\$35
T-Ball Skills & Drills	In-House (Angelina & Brian)	Ages 6-8	Wednesdays in November	5:00 - 6:00pm	\$30	\$35
Tennis Lessons	FUNdemntal Tennis	Ages 5-12	Tuesdays or Saturdays	Varies	\$85	\$90
Theatre Class	Theatre Horizon	Ages 7-12	Wednesday September 13 through November 1st	6:00 pm - 8:00 pm	\$260	\$260
<b>Teen (13-17)</b>						
CPR Certification	Shoensafety	Ages 12+	Tuesdays, Once a month	5:00 pm - 8:00 pm	\$95	\$100
Paint Party	Unwind & Paint	Ages 12-16	Sundays once a month	9:00 am - 10:30 am	\$12	\$18
Pottery for Teens	InDi Studios	Ages 12-16	Saturday, November 11th	10:00 am - 12:00 pm	\$40	\$45
Safe Sitters Course	Shoensafety	Ages 12+	Saturday, November 11th	9:00 AM - 3:30 PM	\$85	\$90
Teen Flag Football	In-House (Brian)	Ages 13-17	Mondays 9/18-11/20	4:30 pm - 9:00pm	\$75	\$80

<b>Adult (18 +)</b>						
Adult Basketball League	In-House (Brian)	18+	Wednesdays	6:30 - 10:00 pm	\$500 per team	\$500 per team
Barre/Pilates	In-House (Beth)	18+	Tuesdays	5:00 - 6:00 pm	Membership	Membership
CPR Certification	Shoensafety	18+	Every Tuesday	5:00 - 8:00 pm	\$95	\$100
Dance Party	In-House (Vicki)	18+	Tuesdays & Thursdays	9:30 AM	Membership	Membership
HIIT Class	In-House (Alice)	18+	Wednesdays	8:30 AM	Membership	Membership
HIIT Class	In-House (Heather)	18+	Fridays	9:30 AM	Membership	Membership
Paint Party	Unwind & Paint	18+	Second Wednesday of the month	6:00 - 8:00 pm	\$12	\$18
Pickleball Lessons	In-House (Marcy)	18+	Tuesdays and Thursdays	5:30-7:30 PM	\$50	\$55
Pilates/barre	In-House (Angel)	18+	Mondays and Thursday nights	6:30 or 7:30	Membership	Membership
PiYo (Pilates/yoga choreographed class)	In-House (Heather)	18+	Mondays	9:30 AM	Membership	Membership
Pottery	InDi Studios	18+	Saturday, November 11th	10:00 am - 12:00 pm	\$40	\$45
Spin	In-House (Laura)	18+	Tuesdays and Thursdays	6:30 PM	Membership	Membership
Strength & Strengthen	In-House (Vicki)	18+	Wednesdays	9:30 AM	Membership	Membership
Tabata	In-House (Heather)	18+	Wednesdays	9:30 AM	Membership	Membership
Yoga	In-House (Angel)	18+	Mondays and Thursday nights	6:30 or 7:30	Membership	Membership
Zumba	In-House (Beth)	18+	Saturdays	9:00 AM	Membership	Membership
Zumba Toning	In-House (Beth)	18+	Wednesdays	6:15 PM	Membership	Membership
<b>Senior (50+)</b>						
Coffee with a Cop	In-House	All Ages	September 29th	10:00 am - 11:00 am	No Charge	No Charge
Paint Party	Unwind & Paint	50+	Second Wednesday of the month	Varies	\$12	\$18
Pickleball Lessons	In-House (Marcy)	18+	Tuesdays and Thursdays	5:30-7:30 PM	\$50	\$55
Senior Seminars	Montgomery County	50+	March 13th	2:00 pm - 2:45pm	No Charge	No Charge
Senior Trivia	In-House	50+	Once a month	2-4 pm	No Charge	No Charge
SS Cardio	In-House (Vicki)	50+	Fridays	10:00 AM	Membership	Membership
SS Classic	In-House (Vicki)	50+	Mondays	11:00 AM	Membership	Membership
SS Stability	In-House (Vicki)	50+	Tuesdays	11:00 AM	Membership	Membership
SS Yoga Stretch	In-House (Vicki)	50+	Thursdays	11:00 AM	Membership	Membership
Watercolor Social	InDi Studios	50+	January 10,17,24,31	1:30 pm - 3:00 pm	\$105	\$110
<b>Open Play</b>						
Badminton	In-House	All Ages	Tuesdays and Sundays	Times Listed	Membership	Membership
Basketball	In-House	All Ages	Weekly	Times Listed	Membership	Membership
Bocce	In-House	All Ages	Open daily	Sunrise to Sunset	No charge	No charge
Cornhole	In-House	All Ages	Thursdays	6:00 PM	Membership	Membership
Pickleball	In-House	All Ages	Weekly	Times Listed	Membership	Membership
<b>Events</b>						
Autumn Festival	In-house	All Ages	October 14th	12:00 - 5:00 pm	No Charge	No Charge
Breakfast with Santa	In-house	All Ages	December 16th	10:00 am - 12:00 pm	\$12	\$15
Craft Fair	In-house	All Ages	December 2nd	11:00 am - 2:00 pm	No Charge	No Charge
Kids Halloween Candy Game Night (Bingo)	In-house	All Ages	October 30th	6:00 pm - 7:00 pm	\$5	\$5
Superhero Meet and Greet	In-house	All Ages	October 21st	10:30 - 11:30 am	No Charge	No Charge
Royal Tea Party	In-house	Ages 2-6	November 4th	10:00 am - 11:00 am	\$5	\$5