

AGENDA
MONTGOMERY TOWNSHIP
BOARD OF SUPERVISORS
TUESDAY, MAY 29, 2018

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Tanya C. Bamford
Candyce Fluehr Chimera
Michael J. Fox
Jeffrey W. McDonnell
Matthew W. Quigg

Lawrence J. Gregan
Township Manager

ACTION MEETING – 8:00 PM

1. Call to Order by Chairman
2. Pledge of Allegiance
3. Public Comment
4. Announcement of Executive Session
5. Consider Approval of Minutes of May 14, 2018 Meeting
6. Introduction and Swearing in New Police Recruit Officers
7. Presentation of 2017 Audit Results
8. Consider Approval of Final Minor Subdivision Plan LDS 675–McCallum–120 Richardson Rd – Two Lots
9. Consider Authorization to Advertise a Public Hearing – Proposed Ordinance #18-306-Z – Landscaping Buffer
10. Consider Escrow Release 2 – M-15-71 - North Wales Crossing Shopping Center
11. Consider Escrow Release 2 – LDS 630 - Firefox II - Northern Village
12. Consider Request for Waiver of Special Event Permit Fee – Mary Mother of the Redeemer Festival
13. Consider Authorization to Execute PennDOT Sidewalk Maintenance Agreement – 5 Points Intersection Project S.R. 0309, Section 71.A
14. Consider Authorization to Accept Proposal to Perform Feasibility Study – Township Building Upgrades
15. Consider Approval of Capital Expenditure - Security Improvements for Fire Stations
16. Consider Payment of Bills
17. Other Business
18. Adjournment

Future Public Hearings/Meetings:

06-06-2018 @7:30pm – Zoning Hearing Board

06-11-2018 @8:00pm – Board of Supervisors

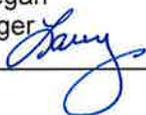
MONTGOMERY TOWNSHIP BOARD OF SUPERVISORS
BOARD ACTION SUMMARY

SUBJECT: Public Comment

MEETING DATE: May 29, 2018 ITEM NUMBER: #3

MEETING/AGENDA: WORK SESSION ACTION XX NONE

REASON FOR CONSIDERATION: Operational: XX Information: Discussion: Policy:

INITIATED BY: Lawrence J. Gregan Township Manager  BOARD LIAISON: Candyce Fluehr Chimera, Chairman of the Board of Supervisors

BACKGROUND:

The Chairman needs to remind all individual(s) making a comment that they need to identify themselves by name and address for public record.

The Chairman needs to remind the public about the policy of recording devices. The individual(s) needs to request permission to record the meeting from the Chairman and needs to identify themselves, by name and address for public record.

ZONING, SUBDIVISION OR LAND DEVELOPMENT IMPACT:

None.

PREVIOUS BOARD ACTION:

None.

ALTERNATIVES/OPTIONS:

None.

BUDGET IMPACT:

None.

RECOMMENDATION:

None.

MOTION/RESOLUTION:

None.

DISTRIBUTION: Board of Supervisors, Frank R. Bartle, Esq.

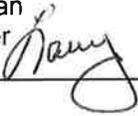
MONTGOMERY TOWNSHIP BOARD OF SUPERVISORS
BOARD ACTION SUMMARY

SUBJECT: Announcement of Executive Session

MEETING DATE: May 29, 2018 ITEM NUMBER: #4

MEETING/AGENDA: WORK SESSION ACTION XX NONE

REASON FOR CONSIDERATION: Operational: XX Information: Discussion: Policy:

INITIATED BY: Lawrence J. Gregan
Township Manager  BOARD LIAISON: Candyce Fluehr Chimera,
Chairman of the Board of Supervisors

BACKGROUND:

Frank Bartle will announce that the Board of Supervisors met in Executive Session and will summarize the matters discussed.

ZONING, SUBDIVISION OR LAND DEVELOPMENT IMPACT:

None.

PREVIOUS BOARD ACTION:

None.

ALTERNATIVES/OPTIONS:

None.

BUDGET IMPACT:

None.

RECOMMENDATION:

None.

MOTION/RESOLUTION:

None.

DISTRIBUTION: Board of Supervisors, Frank R. Bartle, Esq.

MONTGOMERY TOWNSHIP BOARD OF SUPERVISORS
BOARD ACTION SUMMARY

SUBJECT: Consider Approval of Minutes for May 14, 2018

MEETING DATE: May 29, 2018 ITEM NUMBER: #5

MEETING/AGENDA: WORK SESSION ACTION XX NONE

REASON FOR CONSIDERATION: Operational: XX Information: Discussion: Policy:

INITIATED BY: Lawrence J. Gregan BOARD LIAISON: Candyce Fluehr Chimera,
Township Manager Chairman of the Board of Supervisors

BACKGROUND:

Please contact Deb Rivas on Tuesday, May 29, 2018 before noon with any changes to the minutes.

ZONING, SUBDIVISION OR LAND DEVELOPMENT IMPACT:

None.

PREVIOUS BOARD ACTION:

None.

ALTERNATIVES/OPTIONS:

None.

BUDGET IMPACT:

None.

RECOMMENDATION:

None.

MOTION/RESOLUTION:

None.

DISTRIBUTION: Board of Supervisors, Frank R. Bartle, Esq.

**MINUTES OF MEETING
MONTGOMERY TOWNSHIP BOARD OF SUPERVISORS
MAY 14, 2018**

At 7:00 p.m. Vice Chairman Michael J. Fox called to order the executive session. In attendance were Supervisors Tanya C. Bamford, Jeffrey W. McDonnell and Matthew W. Quigg. Chairman Candyce Fluehr Chimera was absent. Also in attendance were Township Manager Lawrence J. Gregan and Township Solicitor Frank R. Bartle, Esquire.

Vice Chairman Michael J. Fox called the action meeting to order at 8:00 p.m. In attendance were Supervisors Tanya C. Bamford, Michael J. Fox, Jeffrey W. McDonnell and Matthew W. Quigg. Chairman Candyce Fluehr Chimera was absent. Also in attendance were Township Solicitor Frank R. Bartle, Esquire, Township Manager Lawrence J. Gregan, Police Chief J. Scott Bendig, Director of Fire Services Richard Lesniak, Director of Finance Ami Tarburton, Director of Administration and Human Resources Ann Shade, Assistant to the Township Manager Stacy Crandell, Director of Planning and Zoning Bruce Shoupe, Director of Public Works Kevin Costello, Director of Recreation and Community Center Floyd Shaffer, Director of Information Technology Richard Grier and Recording Secretary Deborah A. Rivas.

Following the Pledge of Allegiance, Vice Chairman Michael J. Fox called for public comment from the audience and there was none.

Solicitor Frank R. Bartle, Esquire announced that the Board had met in an executive session at 7:00 p.m. this evening to discuss two matters of potential litigation, one involving the Cutler Group and the other regarding the Community and Recreation Center. The Board also discussed three matters of current litigation, Leshner v. Montgomery Township in the Montgomery County Court of Common Pleas, #2012-19280, James Roque v. Montgomery Township in the Montgomery County Court of Common Pleas, #2016-10694, and Deborah Lamb v. Montgomery Township in the United States District Court for the Eastern District of Pennsylvania, #17-1180. Mr. Bartle stated that these matters are legitimate subjects of executive session pursuant to Pennsylvania's Sunshine Law.

Chairman Michael J. Fox made a motion to approve the minutes of the April 23, 2018 Board of Supervisors meeting, and Supervisor Tanya C. Bamford seconded the motion. The minutes of the meeting were unanimously approved as submitted.

Chief of Police J. Scott Bendig presented the resolution to recognize the week of May 13th – May 19th as National Police Week. Police Week pays special recognition to law enforcement officers who have lost their lives in the line of duty for the safety and protection of others. Chief Bendig reported that this is a significant week in our community as Montgomery Township Police Officer David Hancock lost his life on December 11, 1976, while protecting the citizens of Montgomery Township. Resolution #1 made by Vice Chairman Michael J. Fox, seconded by Supervisor Matthew W. Quigg and adopted unanimously, recognized May 13th to May 19th as National Police Week.

Chief of Police J. Scott Bendig reported that in honor of Police Week, the Board is requested to recognize several members of the Police Department law enforcement community for their outstanding performance in the line of duty as recommended by the Police Department's Award Committee.

An Official Commendation of Merit was awarded to Detective Todd Walter for his investigation of a burglary in Montgomery Township on February 13, 2017 and subsequent arrest of two subjects who admitted to four burglaries in Montgomery County.

An Official Commendation for Life Saving was awarded to Officer Brian Gerrard for saving the life of an unresponsive subject by performing chest compressions and dislodging an object that was obstructing the patient's airway on May 2, 2017.

A Letter of Official Commendation was awarded to Officer Timothy Woch for his actions on June 7, 2017. Officer Woch heard a radio call from another department regarding suspicious activity in a location nearby. Officer Woch observed the two vehicles traveling on Welsh Road and was able to stop one of the vehicles which was found to be stolen and resulted in the arrest of the driver for vehicle theft and related offenses.

An Official Commendation for Life Saving was awarded to Officer Taylor Jones for saving the life of a cardiac arrest patient by performing chest compressions until members of the Montgomery Township Fire Department and Volunteer Medical Service Corps of Lansdale arrived on scene and stabilized the patient who has since recovered.

A Letter of Official Commendation was awarded to Officer Taylor Jones for his investigation and apprehension of a bank robbery suspect who had committed at least three bank robberies in the area.

An Official Commendation for Merit was awarded to Officer Daniel Rose for his actions on November 21, 2017 during a traffic stop which resulted in the arrest of driver for providing false information regarding her identity, as well as conducting a canine search resulting in the location of nine stolen handguns, 1.5 ounces of crystal methamphetamine, drug paraphernalia and a drug ledger indicating significant drug sales.

Letters of Official Commendation were awarded to Officer Brian Schreiber, Officer Jason English, Officer Bins Thomas and Detective Todd Walter for their actions on December 16, 2017 whereby they investigated an abandoned vehicle displaying a Florida registration in the parking lot of the Montgomery Mall. Upon attempting to contact the owner, it was discovered that the owner was in critical condition in the Miami, Florida area and it was believed that her son had taken the vehicle and the victim's credit cards and fled. Officers searched locally at hotels and found the suspect. Upon interviewing him, he admitted to striking his mother on multiple occasions. The son was taken into custody and charged with theft and related offenses until being extradited to Florida.

Letters of Official Commendation were awarded to Officer Daniel Rose, Officer Adam Duessing, Officer Peter Byrne, Officer Anthony Shearer and Officer Andrew Haber for their actions on December 29, 2017. Officer Rose was traveling past LA Fitness when he noticed vehicles parked in the lot and some lights on in the business during closed hours. Officers began checking the business from the exterior and observed three to four subjects inside the

business who ran and would not exit the building. Officers opened a door and made a canine announcement. Shortly after the announcement, eight subjects fled out of a side exit of the building. All subjects were taken into custody and a search found a half pound of marijuana that had been left by the subjects who were charged with burglary and violations of the Drug Act.

Official Commendation – Unit Citation was awarded to Corporal Thomas Ward, Officer Brian Schreiber, Officer Michael Jenkins, Officer Jason English, Officer Anthony Long, Officer Bins Thomas and Dispatcher Carlos Cartagena for their actions on March 22, 2018 when officers responded to a residence for a report that a male had just killed his entire family. Corporal Ward began directing a coordinated response and deployment of department personnel while Dispatcher Carlos Cartagena began researching prior incidents at this location. As the officers approached the residence in tactical gear, they learned that the caller had a prior mental health history with the department and he had told the Montgomery County 911 Dispatcher that he had a handgun with five rounds. Once in position, the caller was told to exit the home and as he approached the officers he was holding an unknown black object in his hand. As the caller raised his right hand towards the officers, they were able to determine that he was holding a cellphone. The officers advanced and took him into custody. The officers entered the residence and found the family to be alive and well. The officers spoke to the caller who advised them that after a failed suicide attempt, he had made the 911 call in an attempt to have officers kill him. He was subsequently referred for mental health treatment.

Resolution #2 made by Supervisor Tanya C. Bamford, seconded by Supervisor Matthew W. Quigg and adopted unanimously, recognized and commended these law enforcement personnel for their outstanding performances in the line of duty.

Public Works Director Kevin Costello presented a resolution to recognize National Public Works Week during the week of May 20 through May 26, 2018. The theme for this year's week is "The Power of Public Works." Resolution #3 made Vice Chairman Michael J. Fox, seconded

by Supervisor Matthew W. Quigg, and adopted unanimously, recognized National Public Works Week.

Director of Planning and Zoning Bruce Shoupe reported that a Facilities and Field Use request has been received from Cub Scout Pack 229 for the use of Spring Valley Park to hold their annual rocket launch on Sunday, June 10, 2018. Cub Scout Pack 229 has also requested a waiver of the \$50.00 permit fee for their rocket launch. Cub Master Ed Martin was present with members of Cub Scout Pack 229, who introduced themselves and provided a description of the construction and plan for launching of the rockets. Resolution #4, made by Vice Chairman Michael J. Fox, seconded by Supervisor Tanya C. Bamford and adopted unanimously, approved the Cub Scout Pack 229 annual Rocket Launch at Spring Valley Park on Sunday, June 10, 2018 and waived the special event permit fee.

Director of Finance Ami Tarburton presented the 1st Quarter 2018 Budget report. Ms. Tarburton's presentation summarized the year-to-date operating results through March 31, 2018 and identified the significant activities in the fund balance, revenues and expenses. Ms. Tarburton reported that overall the Township finances are in excellent condition, with the 1st Quarter revenues and expenses tracking as expected in the 2018 Budget.

Director of Fire Services Rick Lesniak reported that the Fire Services Agreement provides that the Volunteer Fire Department of Montgomery Township (FDMT) annually advise the Board of Supervisors of its planned fundraising activities and requests the Board of Supervisor's approval of the events. The FDMT proposes to host the following fund raising activities in 2018: Car Washes, annual fund drive mailing and a coin toss in December. Resolution #5 made by Vice Chairman Michael J. Fox, seconded by Supervisor Tanya C. Bamford and adopted unanimously, approved the fund raising events.

Director of Planning and Zoning Bruce Shoupe reported that an application was received for a conditional use from Water Tower Square Associates for a new 7,302 sf freestanding restaurant, satellite use, at the Water Tower Square Shopping Center, located at the

intersection of Horsham Road and North Wales Road. The property was developed in 2003 and currently has a number of retail uses located on the property, including Home Depot and Franks Movie Theater. In accordance with Township Code, a public hearing must be held within 60 days of the receipt of a conditional use application. Resolution #6 made by Supervisor Tanya C. Bamford, seconded by Supervisor Matthew W. Quigg and adopted unanimously, set Monday, June 25, 2018 after 8:00 p.m. in the Township Building as the date, time and place for a Public Hearing to consider the Conditional Use application of Water Tower Square Associates for a freestanding satellite use, located at 751 Horsham Road at the Water Tower Square shopping center.

Director of Planning and Zoning Bruce Shoupe reported that the Township has received a request for a liquor license transfer for Miller's Ale House, Inc. for 751 Horsham Road, Water Tower Square Shopping Center. This is an intermunicipal transfer of a liquor license and it is required that a public hearing be held on the application. Resolution #7 made by Vice Chairman Michael J. Fox, seconded by Supervisor Tanya C. Bamford and adopted unanimously, set Monday, June 25, 2018, after 8:00 p.m., in the Township Building, as the date, time and place for a Public Hearing for an Intermunicipal Liquor License Transfer for Miller's Ale House, Inc. for 751 Horsham Road, Water Tower Square Shopping Center.

Assistant to the Township Manager Stacy Crandell reported that for voice and data communication, Montgomery Township currently employs various connection methods ranging from utilizing Internet Service Providers (ISPs) with multiyear agreements to in-house built and maintained wireless links. As the Township's IT Department is continually looking to improve its network infrastructure for speed and cost, an option currently under research is the use of fiber optic cabling attached to existing utility poles to connect Township buildings and locations. In order to utilize PECO's pole infrastructure, the Township needs to enter into a Pole Attachment Master Agreement with the PECO Energy Company. The proposed agreement has been reviewed by the Township Solicitor and has been modified to be acceptable to the Township.

Resolution #8 made by Vice Chairman Michael J. Fox, seconded by Supervisor Tanya C. Bamford and adopted unanimously, approved the PECO Pole Attachment Master Agreement.

Assistant to the Township Manager Stacy Crandell reported that the Department of Community and Economic Development (DCED) is offering grants under their Greenways, Trails and Recreation Grant Program to assist in funding planning, acquisition, development, rehabilitation and repair of greenways, recreational trails, open space, parks and beautification projects. Staff has prepared an application for a grant to provide for the construction of various park improvements in Friendship Park. The proposed park improvements include covered and lit Bocce Ball Courts, Pickleball Courts, a handicap accessible playground, softball field improvements, a pavilion with restroom facilities and expansion of the existing walking trail around the park. The maximum amount of grant funding available for the project is \$250,000 and requires a 15% local match of the total project cost. Resolution #9 made by Vice Chairman Michael J. Fox, seconded by Supervisor Matthew W. Quigg and adopted unanimously, authorized the submission of the DCED Greenways, Trail and Recreation Grant Program for park improvements to Friendship Park.

Township Manager Lawrence J. Gregan reported that the Montgomery Township Industrial Development Authority (MTIDA) was established by the Township in 2003 under the provisions of the Pennsylvania Economic Development Financing law to provide access to low-interest financing to businesses through the issuance of tax-exempt and taxable bonds. The Pennsylvania Economic Development Financing Law requires that the Chief Elected Officer of the governmental unit in which the issuer is located (Montgomery Township) must approve any tax-exempt issue proposed by the MTIDA prior to the closing. For the Township, it is proposed to have the current Chairman of the Board be appointed the Chief Elected Official of Montgomery Township and be authorized to approve financing projects presented by the Montgomery Township Industrial Development Authority.

A motion to approve the payment of bills was made by Vice Chairman Michael J. Fox, seconded by Supervisor Matthew W. Quigg, and adopted unanimously, approving the payment of bills as submitted.

There being no further business to come before the Board, the meeting adjourned at 8:47 p.m.

RECOMMENDATION:

It is recommended that Connor Kreston and Nicholas Eufrazio be sworn in as Recruit Police Officers with an effective date of hire of June 1, 2018.

MOTION/RESOLUTION:

BE IT RESOLVED by the Board of Supervisors of Montgomery Township that we hereby appoint Connor Kreston and Nicholas Eufrazio to the position of Recruit Police Officer in the Montgomery Township Police Department, effective June 1, 2018.

MOTION: _____ SECOND: _____

ROLL CALL:

| | | | | |
|------------------------|-----|---------|---------|--------|
| Tanya C. Bamford | Aye | Opposed | Abstain | Absent |
| Michael J. Fox | Aye | Opposed | Abstain | Absent |
| Jeffrey W. McDonnell | Aye | Opposed | Abstain | Absent |
| Matthew W. Quigg | Aye | Opposed | Abstain | Absent |
| Candyce Fluehr Chimera | Aye | Opposed | Abstain | Absent |

DISTRIBUTION: Board of Supervisors, Frank R. Bartle, Esq.

MONTGOMERY TOWNSHIP BOARD OF SUPERVISORS
BOARD ACTION SUMMARY

SUBJECT: Auditor Presentation of 2017 Audit Results

MEETING DATE: May 29, 2018

ITEM NUMBER: #7

MEETING/AGENDA:

ACTION **xx** NONE

REASON FOR CONSIDERATION: Operational: Policy: Discussion: xx Information:

INITIATED BY: Ami Tarburton
Finance Director

BOARD LIAISON: Candyce Fluehr Chimera, Chairman
Liaison – Finance Committee

BACKGROUND:

Maillie, LLP has completed the audit field work for Montgomery Township and the Fire Department of Montgomery Township for the year ended December 31, 2017. The audit of the Sewer Authority is performed by Bee, Bergvall & Co and is reported as a component unit of the Township in the Township's financial statements. The audit report is currently in draft form, pending final review. Upon completion, the 2017 Comprehensive Annual Financial Report will be submitted to the Government Finance Officers Association for consideration for the Certificate of Achievement for Excellence in Financial Reporting Award. Also, a copy of the 2017 Comprehensive Annual Financial Report will be provided to the Board of Supervisors, and an electronic copy will be posted on the Township's website at www.montgomerytwp.org.

Edward J. Furman, CPA, Partner of Maillie, LLP will be attending the BOS meeting on May 29, 2018 to review the report with the Board and answer any questions you may have on the contents thereof.

ZONING, SUBDIVISION OR LAND DEVELOPMENT IMPACT: None.

PREVIOUS BOARD ACTION: None.

ALTERNATIVES/OPTIONS: None.

BUDGET IMPACT: None.

RECOMMENDATION:

Staff recommends that the Board of Supervisors acknowledge receipt the Draft Audit Report for Year Ended December 31, 2017 as prepared by Maillie, LLP, pending final completion of the Comprehensive Annual Financial Report.

DISTRIBUTION: Board of Supervisors, Frank R. Bartle, Esq.

MONTGOMERY TOWNSHIP BOARD OF SUPERVISORS
BOARD ACTION SUMMARY

SUBJECT: Consideration Preliminary/Final Minor 2-Lot Subdivision – McCallum LDS 675

MEETING DATE: May 29, 2018

ITEM NUMBER: # 8

MEETING/AGENDA: WORK SESSION ACTION XX CONSENT NONE

REASON FOR CONSIDERATION: Operational: XX Information: Discussion: Policy:

INITIATED BY: Bruce Shoupe BOARD LIAISON: Candyce Fluehr Chimera
Director of Planning and Zoning Chairman

BACKGROUND:

Attached are the Township and consultant reviews for the consideration of the plan for the McCallum Minor Subdivision located at 120 Richardson Road. The applicant proposes creating one new lot for construction of a new single family dwelling.

ZONING, SUBDIVISION OR LAND DEVELOPMENT IMPACT:

The Applicant executed an indefinite extension form at plan submission, which allows unlimited review time by the Township, unless a notice is received from the Applicant that a decision be rendered within 90 days by the Board of Supervisors. Therefore, if the Board wishes, no action needs to be taken at this time.

PREVIOUS BOARD ACTION:

The property was subject to a Land Development in 1999, LDS-521 - Clayton Hill 2.

ALTERNATIVES/OPTIONS:

Approve or deny this plan with the conditions as outlined in the attached resolution.

BUDGET IMPACT:

None.

RECOMMENDATION:

The Board of Supervisors adopt the resolution.

MOTION/RESOLUTION:

The Resolution is attached.

MOTION _____ SECOND _____ VOTE _____

ROLL CALL:

| | | | | |
|------------------------|-----|---------|---------|--------|
| Tanya C. Bamford | Aye | Opposed | Abstain | Absent |
| Michael J. Fox | Aye | Opposed | Abstain | Absent |
| Jeffrey W. McDonnell | Aye | Opposed | Abstain | Absent |
| Matthew W. Quigg | Aye | Opposed | Abstain | Absent |
| Candyce Fluehr Chimera | Aye | Opposed | Abstain | Absent |

DISTRIBUTION: Board of Supervisors, Frank B. Bartle, Esq.

RESOLUTION #

MONTGOMERY TOWNSHIP

MONTGOMERY COUNTY, PENNSYLVANIA

A RESOLUTION GRANTING CONDITIONAL PRELIMINARY/FINAL APPROVAL OF
THE APPLICATION FOR THE MINOR 2-LOT SUBDIVISION LOCATED AT 120
RICHARDSON ROAD – MCCALLUM - LDS 675.

The Board of Supervisors of Montgomery Township, Montgomery County, Pennsylvania, hereby resolves to grant conditional, preliminary/final approval of the subdivision plan for **McCallum Minor 2-Lot Subdivision** located at 120 Richardson Road, as more fully detailed on the plans listed on Exhibit "A" attached hereto and made part hereof and further conditioned upon the following being satisfied by the Applicant prior to the recording of the final plan:

1. Fulfilling all obligations and requirements of the **Gilmore Associates, Inc.** letter dated May 2, 2014 revised and May 1, 2014; **Boucher & James, Inc.** letter dated May 1, 2014; **Montgomery County Planning Commission** comments dated May 14, 2014; **Montgomery Township Planning Commission** minutes dated May 15, 2014; **Montgomery Township Zoning Officer's** review dated May 14, 2018; **Montgomery Township Planner** review dated May 13, 2014.
2. At the time of development of the owner/successor or assigned shall enter into a Land Development Agreement with the Township and posting financial security in the amount of 110% of the total cost for all public improvements to the satisfaction of the Township Engineer and Township Solicitor for each lot of this subdivision if required. As used herein, the term "public improvements" shall include, but shall not be limited to, streets, parking areas, drive aisles, curbs, water mains, sanitary sewer pipes, manholes and appurtenances thereto, storm water facilities, rain gardens (best management practice) and appurtenances, grading, erosion and sediment control, lighting, required trees, shrubs and landscape buffering, monuments, pins and sidewalks. The record plan shall indicate phasing if required. Public improvements shall require financial security be posted in the amount of 15% of the total public improvement cost, regardless of whether such public improvements are dedicated to the Township, for a period not less than 18 months after Township Engineer approval. If the end of maintenance period for trees and other plantings ends outside the time period specified in 205-49, the maintenance period shall be extended to comply with this requirement and the appropriate financial security shall be provided to the satisfaction of the Township Solicitor
3. Executing, to the satisfaction of the Township Solicitor, the required Storm Water Management Facilities Maintenance and Monitoring Agreement and the required Landscaping Declaration of Covenants and Restrictions, with the Township.

4. Paying all outstanding Township Administrative, Consultant and Solicitors fees related to this project before plans and agreements are executed and recorded.
5. The Applicant shall satisfy the requirements of all Montgomery Township Codes, the Montgomery Township Municipal Sewer Authority and North Wales Water Authority. A copy of the Authorities' permits and/or agreements from the above must be provided to the Township.
6. The Applicant shall be responsible for payment of all Township Consultant fees related to this project.
7. The Applicant shall be responsible for obtaining all other Regulatory Authority Permits having jurisdiction over this project.
8. The Applicant shall comply with the requirements of the Zoning Hearing Board's decision for case # 1803000, dated April 11, 2018.
9. The Applicant acknowledges that Section 205-116 of the SALDO provides for the payment of a fee in lieu of the dedication of parkland for park and recreation purposes. The Applicant hereby agrees to accept the provisions of Section 205-116(A) (2) of the SALDO providing for the payment of \$2,000.00 per new dwelling unit in lieu of the dedication of land. This fee must be paid prior to the submission of an application for a building permit.
10. All storm water inlets and outfall structures shall be identified in accordance with the PADEP Municipal Separate Storm Sewer Systems requirements.
11. A note shall be placed on the plan that details on the new driveways will be provided at building permit application for review and approval.
12. A note shall be placed on the plan that the new lot created will be required to install an on-lot storm water management facilities in accordance with Chapter 206 of the Township Code approved by the Township Engineer, and will require a grading permit be approved prior to issuance of a building permit.
13. A note shall be placed on the plan that each lot shall be responsible for compliance with the Township Landscaping code requirements and Tree Replacement Fee, Section 230-49 through 230-54, as amended (except as waived by Montgomery Township).
14. A note shall be placed on the plan that each lot if developed separately shall require at a minimum a consistency review approval letter from the Montgomery County Conversation District, prior to issuance of a building permit.
15. A note shall be placed on the plan listing any relief granted by the Zoning Hearing Board or waivers granted by the Board of Supervisors.

16. Each lot shall have a minimum of two off street parking spaces at the time of new construction.
17. A note shall be placed on the plan that individual lots when built, will be required to submit grading permits with applicable code items including, but not limited to: grading, storm water management, erosion and sediment controls, buffers, tree replacements, utilities, driveways, curb cuts, trench restorations and other code requirements as deemed necessary.
18. The PADEP Sewage Planning Module approval must be granted prior to recording of plan and agreements.

BE IT RESOLVED that the following waivers have been requested by the applicant and are granted to the extent that they concur with the recommendation of the consultants:

1. Section 205-22: Sidewalk shall be required at any location where the Supervisors determine sidewalk is necessary for public safety and convenience. The Applicant request consideration that a waiver to install sidewalk along Richardson Road and Veronica Lane, as was granted for the Clayton Hill 2 Subdivision in 1999 and not be required for this two-lot subdivision. A payment of a fee in-lieu sidewalk installation is requested.
2. Section 205-49 and 205-51: Landscape plans are required to meet a number of general requirements such as minimum plant size and quantity. The applicant is requesting a waiver from providing a landscaping plan. The proposed project would create one (1) new home. The location of the proposed home has not been determined. Any required plantings will meet the minimum standards for quantity, size and quality. *The consultant has no objection to this waiver request, conditioned upon the Applicant providing notes on the record plan requiring the preservation of existing vegetation on the site intended to meet street tree, softening buffer and individual lot landscaping requirements and demonstrating compliance with SLDO Section 205-53: Preservation and Protection of Existing Trees. A note should be provided on the plan requiring compliance with a table of landscape requirements to be provided on the second sheet of the plan set in the event that existing vegetation is not preserved on the site. This table should clearly outline the minimum landscape requirements as required by the Montgomery Township SLDO, to be met in the event that the lot is cleared during construction.*

3. Section 205-52.A [1]: Street trees are required to be provided for any subdivision and land development where suitable street trees do not exist as part of the design. The Applicant request consideration that there are densely spaced existing trees along both Richardson Road and Veronica Lane. There will be limited street tree disturbance associated with construction of the single new home. Section 205-52.J allows the use of preserved natural features count towards the landscaping requirements when the preserved resources duplicate the planting requirements. The consultant has no objection to this waiver request, provided that five (5) existing trees along Veronica Lane and Four (4) existing trees along Richardson Road are marked on the plans as to be preserved as street trees, and are provided with adequate protection measures in accordance with SLDO Section 205-53.
4. Section 205-52.B (2) [a]: Softening buffers are required in all zoning districts for all uses. Please consider there is established vegetation throughout the existing property. There is significant existing vegetation along the property line between the new Lot and the existing adjoining property. Section 205-52.J allows the use of preserved natural features count towards landscape requirements when the preserved resources duplicate the planting requirements. The consultant has no objection to this waiver request, as it appears that existing vegetation and fencing on the property essentially duplicates the softening buffer requirements, so long as the trees are provided with adequate protection measures in accordance with SLDO Section 205-53 and preserved
5. Section 205-52.G (b): Three (3) shade trees are required for each individual lot. The Applicant request consideration that a minimum of three (3) individual shade trees already exist on each lot. There will be limited street tree disturbance associated with construction of the single new home. Section 205-52.J allows the use of preserved natural features count towards landscape requirements when the preserved resources duplicate the planting requirements. The consultant has no objection to this waiver request provided the trees intended to be used to meet the on-lot landscaping requirements are indicated in the plan set, the trees are not already being used to meet street tree or softening buffer requirements on the site, and are provided with adequate protection measures in accordance with SLDO Section 205-53 and are preserved.

This Resolution for LDS 675 shall become effective on the date upon which all of the above stated conditions are accepted by the Applicant in writing. If, for any reason, the Applicant fails to acknowledge the acceptance of the conditions contained in this Resolution within ten (10) days from the date of this Resolution, then the Preliminary/Final Plan approval granted herein shall become null and void, the waivers requested shall be deemed denied, and the plan shall be denied for failure to comply with Sections of the Township Zoning Ordinance and/or Township Subdivision and Land Development Ordinance for the reasons cited herein or as set forth in the letters referenced herein.

DULY PRESENTED AND ADOPTED by the Board of Supervisors of Montgomery Township, Montgomery County, Pennsylvania, at a public meeting held this 29 day of May 2018.

MOTION BY:

SECOND BY:

VOTE:

The above conditions are agreed to by _____ this day of _____, 2018.

Applicants

xc: Applicant, F. Bartle, J. Chambers, B. Shoupe, M. Gambino, K. Johnson, J. Stern-Goldstein, MCPC, Minute Book, Resolution File, File

EXHIBIT "A"

PLANS-STUDIES

| <u>DESCRIPTION</u> | <u>ORIGINAL DATE</u> | <u>REVISED</u> |
|---------------------------|----------------------|----------------|
| 1. Record Plan | 3/28/14 | NA |
| 2. Existing Features Plan | 3/28/14 | NA |



GILMORE & ASSOCIATES, INC.
ENGINEERING & CONSULTING SERVICES

REVISED May 2, 2014
May 1, 2014

File No. 14-04065

Bruce S. Shoupe, Director of Planning and Zoning
Montgomery Township
1001 Stump Road
Montgomeryville, PA 18936-9605

Reference: The McCallum Tract Subdivision– LD/S #675
120 Richardson Road
Tax Parcel #46-00-03154-00-4
Tax Block #002M; Tax Unit #0018

Dear Bruce:

Pursuant to your request, Gilmore & Associates, Inc. has reviewed the Minor Subdivision Plans for the above-referenced project and offers the following comments for consideration by the Montgomery Township Board of Supervisors:

I. SUBMISSION

- A. Subdivision Plans, as prepared by Graf Engineering, LLC., two (2) sheets, dated March 28, 2014
- B. Application for Subdivision & Land Development, dated March 14, 2014

II. GENERAL

The subject property (Tax Parcel #46-00-03154-00-4, Block/Unit 002M/018), owned by Brendan J. and Heien J. McCallum, is located at 120 Richardson Road and has frontage on Richardson Road and Veronica Lane. The site contains an existing dwelling with attached garage and an accessory building. The 64,847 S.F. lot is within the Residential (R-2) Zoning District and the current use is single-family detached dwelling. The applicant proposes to create a new lot by subdividing the existing lot into two lots containing 24,115 SF (Lot #1) and 40,733 SF (Lot #2). The existing dwelling and accessory building will be on Lot #2. The existing driveway accessing Veronica Lane serving the existing dwelling will be relocated south along the Veronica Lane Right-of-Way. No improvements are currently proposed on the lot to be created. It is intended that both lots will be served by public water and sewer.

III. REVIEW COMMENTS

A. Zoning Ordinance

Based on our review, the following items do not appear to comply with the Zoning Ordinance. Upon further development of the plans, additional items may become apparent.

1. §230-32 – The 'Zoning Regulations' table presented on both sheets shall be revised to include the building height regulations included in this section.
2. §230-33.A – The lot area is defined by the Ordinance as the area lying within the lot lines excluding the area within the street lines measured to the ultimate right-of-way lines. The legal and ultimate ROW shall be labeled on the plans. We recommend the gross and net lot areas be indicated on the plan for clarity. The areas of the existing and proposed lots shall be verified.

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There appears to be a rounding issue regarding the lot areas provided.

3. §230-33.A – The lot widths at the building line shall be indicated on the plan.
4. §230-33.B – The required front yard is 50 feet. The existing front yard is 30.63 feet and will continue for Lot #2. This is an existing nonconformity and shall be indicated on the plans.
5. §230-33.E – Richardson Road is classified as a secondary road. The building setback along secondary roads shall be 60 feet rather than the 40 foot side yard. This requirement should also be listed in the Zoning Table
6. §230-33.B through H – The Existing column in the Zoning table shall be updated to include the data excluded or listed as 'Not Applicable'. All existing nonconformities shall be indicated (e.g. the existing front yard is less than 50 feet).
7. §230-149 – The pertinent zoning information related to accessory structures should be added to the Zoning table on the plans with reference to the existing log cabin.

B. Subdivision and Land Development Ordinance

Based on our review, the following items do not appear to comply with the Subdivision and Land Development Ordinance (SALDO). Upon further development of the plans, additional items may become apparent.

1. §205-22 – Sidewalks shall be required at any location where the Supervisors shall determine that sidewalks are necessary for public safety and convenience. Sidewalk does not exist along either frontage of the subject lot. However, sidewalk is present on the neighboring Veronica lane lot. It is also present along the opposite side of Veronica Lane. The Board of Supervisors should determine if sidewalk is required on the subject lot.
2. §205-85.B.2 – The applicant proposes to relocate the existing driveway utility connections for Lot #2 so they do not traverse Lot #1. The owner shall agree, in writing, to complete all proposed improvements. The Township should determine if Note #8 on Sheet 1 of 2 is adequate. It is recommended that the proposed improvements, including the driveway and utility relocations and installation of lot pins, be completed prior to recording the plan, financial security be provided or easements be established.
3. §205-87.A.4 – The plan and legend shall be revised to more clearly indicate the existing and proposed lot lines, utilizing a different line weight or type to define the line being created in the subdivision.
4. §205-87.A.5 – The provided plan is presented at 24 inches x 36 inches. The ordinance requires plans to be provided at 18 inches by 22 inches, or 36 inches by 44 inches. A waiver from this requirement is recommended to allow 24 x 36 inch plans, which is consistent with County standards for record plans.
5. §205-87.B.10 – All existing utilities shall be shown on the plan. Only an overhead electric line is shown crossing Lot #1. Locations of water, sewer, gas, etc., including laterals, should be shown if they exist. All utilities traversing Lot #1 to service Lot #2 should be relocated prior to recording the plan. As an alternative, an easement should be provided in favor of Lot#2.
6. §205-87.B.11 – Letters of commitment are required and information should be added to the plan indicating that the proposed lots will have future access to public water and sewer.
7. §205-87.B.17 – A copy of the current deed, along with any restrictions that may exist, shall be provided. Legal descriptions of the proposed lots shall also be provided.

C. General

1. The Lot designations on the Plan and Notes on the Record Plan (Sheet 1 of 2) shall be reconciled. Notes 5, 6 & 7 appear to be inconsistent with the lot numbering on the plan.

2. The word "may" should be removed from Note 7 on Sheet 1 of 2. Permits are required for new or altered buildings on either lot.

In order to help expedite the review process of the resubmission of the plan, the Applicant should submit a response letter which addresses each of the above comments. Changes that have been made to the application that are unrelated to the review comments should also be identified in the response letter.

If you have any questions regarding the above, please contact this office.

Sincerely,



Russell S. Dunlevy, P.E.
Executive Vice President
Township Engineers



James P. Dougherty, P.E.
Gilmore & Associates, Inc.
Township Engineers

RSD/JPD/atw

cc: Lawrence J. Gregan, Manager – Montgomery Township
Marita A. Stoerrle, Development Coordinator – Montgomery Township
Frank R. Bartle, Esq., Solicitor – Dischell Bartle & Dooley, PC
Barry Jefferies, Senior Planner – Montgomery County Planning Commission
Thomas F. Zarko, P.E., Sewer Authority Engineer – CKS Engineers, Inc.
Kevin Johnson, P.E. – Traffic Planning & Design, Inc.
Judith Stern Goldstein, ASLA, R.L.A. – Boucher & James, Inc.
H. Joan McCallum, Owner/Applicant
Rolph A. Graf, P.E. – Graf Engineering, LLC.



GILMORE & ASSOCIATES, INC.
ENGINEERING & CONSULTING SERVICES

May 1, 2014

File No. 14-04065

Bruce S. Shoupe, Director of Planning and Zoning
Montgomery Township
1001 Stump Road
Montgomeryville, PA 18936-9605

Reference: The McCallum Tract Subdivision– LD/S #675
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Tax Parcel #46-00-03154-00-4
Tax Block #002M; Tax Unit #0018

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In order to help expedite the review process of the resubmission of the plan, the Applicant should submit a response letter which addresses each of the above comments. Changes that have been made to the application that are unrelated to the review comments should also be identified in the response letter.

If you have any questions regarding the above, please contact this office.

Sincerely,



Russell S. Dunlevy, P.E.
Executive Vice President
Township Engineers



James P. Dougherty, P.E.
Gilmore & Associates, Inc.
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RSD/JPD/atw

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H. Joan McCallum, Owner/Applicant
Rolph A. Graf, P.E. – Graf Engineering, LLC.



Boucher & James, Inc.

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May 1, 2014

Lawrence Gregan, Township Manager
Montgomery Township
1001 Stump Road
Montgomeryville, PA 18936

**SUBJECT: MCCALLUM TRACT
MINOR SUBDIVISION PLANS
TOWNSHIP LD/S NO. 675
PROJECT NO. 1455277R**

Dear Mr. Gregan:

Please be advised that we have reviewed the McCallum Tract Minor Subdivision Plans prepared by Graf Engineering, LLC, dated March 28, 2014. The site is located at the intersection of Richardson Road and Veronica Lane within the R2 Residential District.

The plans propose the subdivision of the existing lot into two lots. It appears from the submitted plans that the existing dwelling unit is proposed to remain, and utilities are to be relocated so as not to cross adjacent lots. Removal and relocation of a portion of the existing driveway is to take place prior to issuance of a building permit for lot 1. No additional improvements are proposed at this time. The plans state that Lot 2 is to be served by public sewer and water. However, this is the existing lot, and no existing or proposed tie-ins have been shown on the plan.

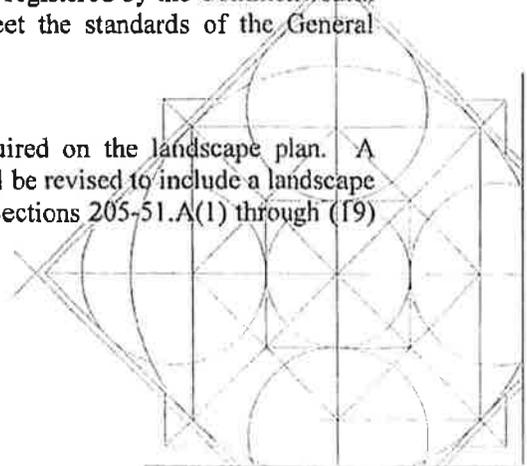
We offer the following comments for your consideration.

1. General Requirements

SLDO Section 205-49: landscape plans are required to meet a number of general requirement standards, including minimum design standards, plant material sizing requirements, guaranty requirements, size and quality standards, and the requirement that the landscape plan be prepared by a landscape architect registered by the Commonwealth of Pennsylvania. The plan should be revised to meet the standards of the General Requirements section, or waivers would be required.

2. Landscape Plan Requirements.

SLDO Section 205-51 indicates the information required on the landscape plan. A landscape plan has not been provided. The plans should be revised to include a landscape plan incorporating all information required by SLDO Sections 205-51.A(1) through (19) or waivers for these sections would be required.



3. Planting Requirements

- A. SLDO Section 205-52.A(1): street trees are required to be provided for any subdivision or land development where suitable street trees do not exist as part of the design and construction of existing streets when they abut or lie within the subdivision or land development. In accordance with SLDO Section 205-52.A(2)(d) existing shade trees over 4" in caliper DBH within 10' of the existing or legal r-o-w may be utilized to meet the street tree requirement. The plans should be revised to provide the required street trees, or a waiver would be required.
- B. SLDO Section 205-52.B(2)(a): softening buffers are required in all zoning districts and for all uses. The plans should be revised to provide the required softening buffers, or a waiver would be required.
- C. SLDO Section 205-52.G(b): Table 1 requires the provision of three (3) shade trees per unit for individual lot landscaping. The plans should be revised to provide the required individual lot landscaping, or a waiver would be required.
- D. SLDO Section 205-52.J Existing Vegetation: In cases where preserved natural features on site duplicate or essentially duplicate the planting requirements of this chapter, these requirements may be waived or amended by the Board of Supervisors.

4. Preservation, Protection and Replacement of Trees

- A. SLDO Section 205-53.B: during construction, trees and their root zones are required to be protected have a maximum permitted limit of disturbance. The plans should be revised to demonstrate compliance with these ordinance requirements, or a wavier would be required.
- B. SLDO Sections 205-53.C and 205-54 outline the requirements for the preservation of trees and the replacement of trees destroyed by development. The plans should be revised to demonstrate compliance with the tree preservation and replacement requirements, or a waiver would be required.

5. General Comments

- A. SLDO Section 205-55: building permits shall not be issued unless a performance bond or other such surety approved by the Township Solicitor has been filed with the Township equal in amount to the cost of purchasing, planting, maintaining, and replacing all vegetative materials for a period of 18 months after written acceptance of the landscape installation by the Township. This bond must be in place prior to the issuance of a building permit for Lot No. 1.
- B. It appears that some of the General Notes on Sheet 1 have reversed the references to Lot #1 and Lot #2. The notes should be revised for the purposes of clarity.

Mr. Lawrence Gregan, Township Manager
McCallum Tract
May 1, 2014
Page 3

- C. A detailed response letter addressing the above noted comments and any other changes to the plans should be included with future submissions.

Sincerely,


Judith Stern Goldstein, ASLA, R.L.A.
Managing Director


Valerie L. Liggett, ASLA, R.L.A.
ISA Certified Arborist®
Planner/Landscape Architect

JSG/vll/kam

cc: Board of Supervisors
Planning Commission
Bruce Shoupe, Director of Planning and Zoning
Marita Stoerle, Development Coordinator
Marianne McConnell, Deputy Zoning Officer
Frank R. Bartle, Esq., Dischell Bartle & Dooley, PC
James P. Dougherty, P.E., Gilmore & Associates, Inc.
Kevin Johnson, P.E., Traffic Planning & Design
Ken Amey, AICP
Joan McCallum
Rolph A. Graf, P.E., Graf Engineering, LLC

**MONTGOMERY COUNTY
BOARD OF COMMISSIONERS**

JOSH SHAPIRO, CHAIR
LESLIE S. RICHARDS, VICE CHAIR
BRUCE L. CASTOR, JR., COMMISSIONER



**MONTGOMERY COUNTY
PLANNING COMMISSION**

MONTGOMERY COUNTY COURTHOUSE • PO Box 311
NORRISTOWN, PA 19404-0311
610-278-3722
FAX: 610-278-3941 • TDD: 610-631-1211
WWW.MONTCOPA.ORG/PLANNING

JODY HOLTON, AICP
EXECUTIVE DIRECTOR

May 14, 2014

Mr. Larry Gregan, Manager
Montgomery Township
1001 Stump Road
Montgomeryville, Pennsylvania 18936

Re: MCPC #14-0077-001
Plan Name: McCallum Site
(2 lots comprising 1.49 acres)
Situate: Veronica Lane (N)/Richardson Road (E)
Montgomery Township

Applicant's Name and Address

Joan McCallum
120 Richardson Road
Lansdale, PA 19466

Contact: Rolph Graf, P.E.
Phone: 267-263-2054

Dear Mr. Gregan:

We have reviewed the above-referenced subdivision and land development application in accordance with Section 502 of Act 247, "the Pennsylvania Municipalities Planning Code", as requested by the township in a letter received in this office on April 11, 2014. We forward this letter as a report of our review and recommendations.

Background

The application is a new submission which proposes the subdivision of an existing 1.49 acre, 64,847 sq. ft. parcel into two new lots. Lot #1 will be a 24,115 sq. ft. lot; and Lot #2 will be a 40,733 sq. ft. lot. The plan shows that the existing house on Lot #2 will be retained and no new construction is proposed at this time for either lot. The existing home at 120 Richardson Road will have its driveway access modified to take access from Veronica Lane. The subject parcel (Tax Parcel #46-00-03154-00-4) is located in the Township's R-2 Residential Zoning District, which requires a minimum lot area of 20,000 sq. ft. with a 100 ft. lot width at the building line. The plan indicates that public water and sewer are available.

Comments

§ 205-22.A. Sidewalks along Veronica Lane and Richardson Road

The applicant's site plan does not show sidewalks as an improved condition with the subdivision of this parcel. We suggest sidewalks are a logical and needed improvement with the process of this subdivision. Sidewalks along the parcel's frontage would help to fill an existing gap in the sidewalk network along both Veronica Lane and Richardson Road and provide opportunities for

residents to move safely as pedestrians along these roads. We recommend the applicant modify the plan to include sidewalks.

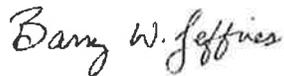
Recommendation

We recommend approval of the proposed plan provided that the above-mentioned review comment is addressed to the satisfaction of the Township and the plan complies with your land use and development requirements and any other municipal code regulations.

Please note that the review comments and recommendations contained in this report are advisory to the municipality and final disposition for the approval of any proposal will be made by the municipality.

Should the governing body approve a final plat of this proposal, the applicant must present the plan to our office for seal and signature prior to recording with the Recorder of Deeds office. A paper copy bearing the municipal seal and signature of approval must be supplied for our files.

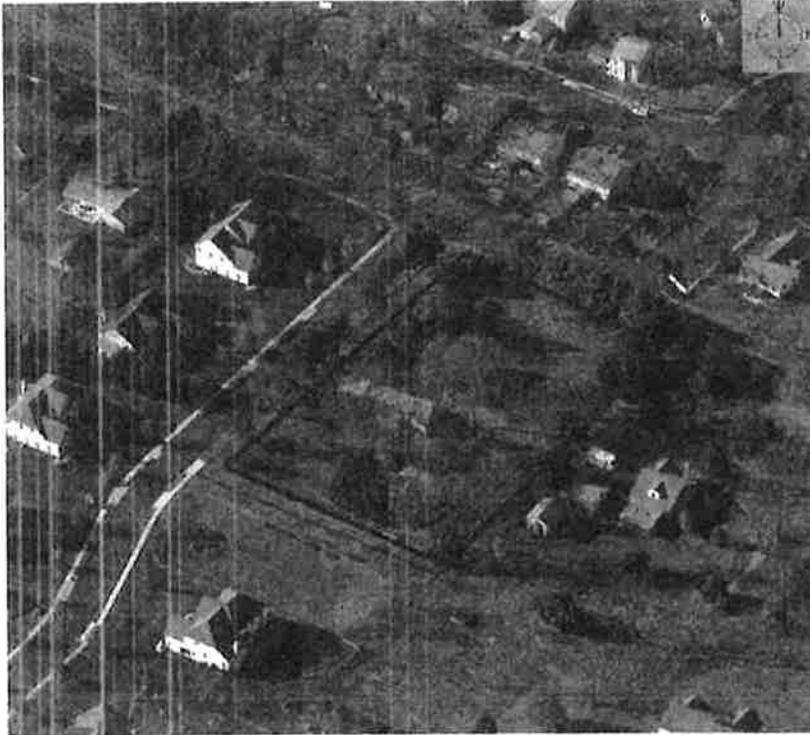
Sincerely,



Barry W. Jeffries, ASLA
Senior Design Planner
610-278-3444, Email: bjeffrie@montcopa.org

- c: Joan McCallum, Applicant
- Graf Engineering, LLC, Applicant's Engineer
- Jonathan Trump, Chrm., Twp. Planning Commission
- Bruce Shoupe, Twp. Planning/Zoning
- Frank Bartle, Esq., Twp. Solicitor
- Russell Dunlevy, Twp. Engineer
- Marita Stoerrle, Township Development Coordinator

Aerial view of applicant's development tract (2008 view from the north)



AGENDA ITEMS

MTMSA – Eureka Plant
Quaker Steak and Lube
Crystal Road Townhouses
McCallum Subdivision
Firefox Subdivision

MONTGOMERY TOWNSHIP PLANNING COMMISSION

May 15, 2014

The May 15, 2014, meeting of the Montgomery Township Planning Commission was called to order by Chairman Jonathan Trump at 7:30 p.m. In attendance were Commissioners Michael Beatty, Steven Krumenacker, Leon McGuire, James Rall and Ellen Reynolds. Commissioner Jay Glickman was absent. Also present were Bruce Shoupe, Director of Planning and Zoning, and Candyce Fluehr Chimera, Supervisor Liaison.

The minutes of April 17, 2014, were approved as submitted.

There were no public comments.

MTMSA – Eureka Plant

The first item on the agenda was a presentation of the plan for the Montgomery Township Municipal Sewer Authority for the Eureka Wastewater Treatment Plant, which is located at 1485 Lower State Road. Tom Zarko and Ken Kollmer, Authority Engineers, and Karyn Koerwer, Authority Manager, were present to discuss this plan. Mr. Zarko explained that this project proposes the construction of an influent flow equalization storage tank system in order to store excessive influent during significant rainfall events. The proposal will demolish an existing detention basin. The stormwater that was previously accommodated in the basin will be discharged to the Little Neshaminy Creek. The plan proposes other site improvements, including the construction of a retaining wall, site lighting, landscape and stormwater management improvements. Mr. Zarko stated that they had received review letters from several of the Township's reviewing agencies and would comply with the majority of the comments; but there would be some waiver requests forthcoming. A question arose regarding the storage tank. Mr. Zarko explained that because of how the ground slopes, he did not feel that it would be visible from the roadway. The tank would be open on the top. After some further discussion, a motion was made by Mrs. Reynolds, seconded by Mr. McGuire, to recommend to the Board of Supervisors that this plan be

approved subject to satisfactory compliance with all comments of the Township's review agencies. The motion further recommended that all waiver requests be approved. Motion carried unanimously.

Quaker Steak and Lube

Next on the agenda was a discussion concerning the General Hancock Partnership Pad Site #4 – Quaker Steak and Lube plan. Kirk Clauss, Engineer for the project, was present. He advised that since he had previously met with the Planning Commission to discuss this plan, it had been determined that an additional waiver request was necessary. He advised that this was a landscaping issue and the Township's Landscape Architect had indicated that it was necessary to have 20 foot divider islands between each 124 foot of parking and aisles. Therefore, two dividing islands would be required with a total of 365 linear feet of island. Also required would be 15 shade trees and 30 shrubs. Mr. Clauss advised that they were asking for a waiver from both the installation of the islands and the plant materials. He stated that there was actually not enough room left on site to provide for these. Therefore, they were asking for a waiver of this requirement. After some further discussion, a motion was made by Mrs. Reynolds, seconded by Mr. Krumenacker, to recommend to the Board of Supervisors that this waiver request be granted, provided that a fee in lieu of the 15 shade trees and 30 shrubs be provided. Motion carried unanimously.

Crystal Road Townhouses

Mr. Clauss was also present to discuss a waiver for the Crystal Road Townhouse development. He advised that this development would be sold to NV Homes to construct. They would also be constructing the Firefox development which was adjacent to this project. These developments would be constructed as phases of the same development. Mr. Clauss stated that this project was originally approved in 2013. Since that time, it was determined that an additional waiver would be required. Mr. Clauss stated that they would like to install Belgian Block curbing instead of concrete curbing. The Township Engineer had indicated that he had no objection to this waiver. Both developments would be installing the Belgian Block curbing. A motion was made by Mrs. Reynolds, seconded by Mr. Rall, to recommend to the Board of Supervisors that this waiver be approved. Motion carried unanimously.

McCallum Subdivision

The next item on the agenda was a discussion of the plan for the McCallum Subdivision. Rolph Graf, engineer for the project, was present. Mr. Graf explained that this was a two lot subdivision located at Richardson Road and Veronica Lane. It is approximately 1 ½ acres. Mrs. McCallum would like to subdivide and eventually sell the new lot to a developer. Mr. Graf explained that the lot sizes would be 24,115 square feet for Lot #1 and 40,733 square feet for Lot #2; the existing dwelling is located on Lot #2. This would be for one new dwelling. The existing home would remain. The existing driveway accessing

Veronica Lane, which serves the existing dwelling, will be relocated along the Veronica Lane right of way. No improvements are currently proposed. Mr. Graf stated that they had received review letters from the Township consultants and would comply with the comments with the exception of the following waiver requests:

1. Section 205-22: Sidewalks shall be required at any location where the Supervisors determine if sidewalk is necessary for public safety and convenience. The applicant has asked that the Board of Supervisors determine if sidewalk is necessary. Mr. Graf stated that he realizes that this would probably not be approved, but needed to ask on behalf of the applicant.
2. Section 205-87.A.5: The ordinance requires plans be submitted on 18-inch by 22-inch or 36- inch by 44-inch paper. The submitted plan is on 24-inch by 36-inch paper. *The plan sheet size is typical for a Record Plan and consistent with the County Recorder of Deeds requirements.*
3. Section 205-49: Landscape plans are required to meet a number of general requirements such as minimum plant size and quantity. The applicant is requesting a waiver from providing a Landscape Plan. This is a Minor Subdivision with one (1) new home proposed. The location of the proposed home has not been determined. Any required plantings will meet the minimum standards for quantity, size and quality.
4. Section 205-51: Indicates the information required on the Landscape Plan. The applicant is requesting a waiver from providing a Landscape Plan. *This is a Minor Subdivision with one (1) new home proposed.*
5. Section 205-52.A(1): Street trees are required to be provided for any subdivision or land development where suitable street trees do not exist as part of the design. *There are densely spaced existing trees along both Richardson Road and Veronica Lane. There will be limited street tree disturbance associated with construction of the single new home. Section 205-52.J of the SALDO allows the use of preserved natural features to count toward the landscape requirements when the preserved resources duplicate the planting requirements.*
6. Section 205-52.B(2)(a): Softening buffers are required in all zoning districts for all uses. There is established vegetation throughout the existing property. There is significant existing vegetation along the property line between the new Lot and the existing adjoining property. Section 205-52.J of the SALDO allows the use of preserved natural features to count toward the landscape requirements when the preserved resources duplicate the planting requirements.
7. Section 205-52.G(b): Three (3) shade trees are required for each individual lot. A minimum of three (3) individual shade trees already exist on each lot. There will be limited street tree disturbance associated with construction of the single new home. Section 205-52.J of the SALDO allows the use of preserved natural features count toward the landscape requirements when the preserved resources duplicate the planting requirements.

Some discussion occurred regarding the waiver to provide a landscape plan. Mr. Graf indicated that he, the Township's Landscape Architect Valerie Liggett, and Bruce Shoupe had worked out some wording

that would be placed on the plan to make certain that all landscape requirements would be met in the event that existing vegetation would not be preserved during construction. Mr. Graf further indicated that he would be submitting a waiver request to DEP for the Sewer Planning Module. After some further discussion, a motion was made by Mrs. Reynolds, seconded by Mr. Beatty, to recommend to the Board of Supervisors that this plan be approved, subject to satisfactory compliance with all comments of the Township's review agencies. The motion further recommended that the waiver requests should be approved, provided that wording be placed on the plan to assure that the existing vegetation be preserved or replaced after construction of the new dwelling. Motion carried unanimously.

Firefox Subdivision

Next on the agenda was a presentation of the plan for the Firefox Subdivision. Cliff Stout, engineer, and Clay Chandler, Klein Company, were present to address this plan. Mr. Stout stated that the property is located at the Line Street and Bethlehem Pike intersection and lies within both Montgomery and Hatfield Townships. The proposal was for 115 townhouses to be constructed within Montgomery Township. He explained that the plan had actually been approved by the Board in 2007, but due to various issues, nothing had progressed until now. This revised plan amended the approved plan as follows:

- Subdivision of the open space area to allow for phased construction of the north and south villages.
- Revised several stormwater management details to use HDPE pipe in place of reinforced concrete pipe in certain locations.
- All units are now proposed to have 2 car garages.
- Driveways have been widened to accommodate the larger garages.

Mr. Stout also indicated that as had been mentioned during the Crystal Road Townhouse discussion, an additional waiver has been requested for the use of Belgian Block curbing. As both developments would now be constructed by the same builder, the curbing would be the same throughout. Mr. Stout advised that the Township Engineer has recommended that the waiver be approved. Mr. Stout further advised that they had received review letters from the Township consultants and would comply with the comments. He stated that at the time of the original plan approval, there had been a proposal to plant replacement trees at the Pine Crest Golf Club, which was also owned by The Klein Company. Since then, it was decided that the Golf Club did not want the trees to be planted on site. Mr. Stout explained that they were now prepared to pay a fee in lieu of the 638 replacement trees. After some further discussion, Mrs. Reynolds made a motion, seconded by Mr. Rall, to recommend to the Board of Supervisors, that this plan be approved, subject to satisfactory compliance with all comments of the Township review agencies. The motion further recommended that the additional waiver request for the use of Belgian Block curbing be approved.

A synopsis of the Board of Supervisors meeting was presented by Mr. Rall. He advised that the Stormwater Management Ordinance had been approved.

The next meeting of the Planning Commission will be held on Thursday, June 19, 2014. This meeting was adjourned at 8:55 p.m.

Respectfully submitted:

Marita Stoerle
Development Coordinator/
Recording Secretary

**ZONING ORDINANCE
PLAN REVIEW
120 Richardson Road**

DATE: May 14, 2018

PLAN REVIEW – McCallum - 120 Richardson Road
LD/S # 675 – Preliminary/Final Approval - Minor 2-Lot Subdivision

DEVELOPMENT NAME: McCallum - 120 Richardson Road
LOCATION: 120 Richardson Road LOT NUMBER & SUBDIVISION: Proposed 2 (1 new lot)
ZONING DISTRICT: R2 - Residential
PROPOSED USE: Residential
ZONING HEARING BOARD APPROVAL REQUIRED? YES
CONDITIONAL USE APPROVAL REQUIRED? NO

| | Proposed each lot | Required | Lot 1 Approved | Lot 2 (existing) Approved | WAIVER |
|---------------------|-------------------|-------------------|---------------------|---------------------------|--------|
| USE | Residential | | X | X | |
| HEIGHT | Max 35 ft | Max 35 ft. | | | |
| LOT SIZE | 20,000+ | 20,000+ | 24,115 sf | 40,733 sf | |
| SETBACKS | | | | | |
| FRONT | 50 ft | 50 ft. | X – 50 ft | 50 ft | ZHB |
| SIDES | 15 ft | 30ft aggr./15 ft. | X – 15 ft/ 40 ft | 30ft/15ft per | |
| REAR | 30 ft | 30 ft. | X – 30 ft | 30 ft | |
| BUFFERS | | | | | |
| SOFTENING | Use Existing | 20 ft. Perimeter | X | X | |
| SCREENING | Use Existing | 20 ft. Perimeter | X | X | |
| BUILDING COVERAGE | Max 15% | Max 15% | 4% | 6% | |
| IMPERVIOUS COVERAGE | Max 30% | Max 30% | 9% | 14% | |
| GREEN AREA | | Min 25% | X | X | |

ADDITIONAL COMMENTS

- PADEP Act 537, Section 750.5(a) and Section 71.51(a) requires an approved sewage facilities planning Plan prior to recording of any subdivision plan.
- Requesting waiver 205-14. In the alternative Section 205-116, fee in-lieu should apply.
- Notes shall be placed on the plan as follows:
 - 1) Each lot shall be responsible for compliance with the Township Landscaping Code requirements and tree replacement fee, Section 205-49 through 205-54, as amended.
 - 2) The new lot shall be subject to Section 205-116, Park and Recreation fee, as amended, due at time of building permit application.

- 3) The new lot developed shall require at a minimum a Consistency Review Approval letter from the Montgomery County Conversation District, prior to issuance of a building permit.
- 4) The new lot developed shall require a grading permit and an on-lot storm water management system approved by the Township Engineer prior to issuance of a building permit.
- 5) No actual construction is shown on Lot 1. When built upon, applicant will be required to submit plans with all applicable code items including, but not limited to: grading, on-lot storm water management, erosion and sediment controls, buffers, tree replacement, utilities, driveways, curb cuts, trench restoration and other code requirements as deemed necessary.
- 6) PADEP sewage planning module approval required prior to recording of record plan.

- A fee in-lieu of placement of sidewalk should be considered if a waiver of sidewalks is granted.


ZONING OFFICER

5-14-18
DATE

KENNETH AMEY, AICP
professional land planner

May 13, 2014

(via e-mail)

Lawrence J. Gregan, Township Manager
MONTGOMERY TOWNSHIP
1001 Stump Road
Montgomeryville, PA 18936

Re: McCallum Tract – Two Lot Minor Subdivision
Southeast Corner of Veronica Lane and Richardson Road
Township File #LD/S-675

Dear Mr. Gregan:

I have completed my review of the subdivision plans for the above referenced project, consisting of 2 sheets, prepared by Graf Engineering, dated March 28, 2014, with no revisions noted. The property is zoned R-2 Residential and currently consists of a single family dwelling with attached garage and residential driveway. The proposal is to create one new building lot and allow the existing home to remain on the second lot. My comments follow:

1. The zoning data chart should be revised to show the existing nonconforming front yard for lot #2. The requirement for corner lot side yards should also be corrected. Including the zoning data chart on sheet 2 is probably unnecessary.
2. General Notes on sheet 1 should be revised to correct the confusion between lots #1 and #2.
3. Some consideration should be given to extending sidewalks across these two lots.

In all other respects, the plans appear to conform to the requirements of the R-2 zoning district and general planning objectives of Montgomery Township.

Please let me know if there are any questions.

Very truly yours,



Kenneth Amey

1122 Old Bethlehem Pike
Lower Gwynedd, PA 19002



phone: 215.283.9619
fax: 215.646.3458
kenamey@aol.com

cc: Bruce S. Shoupe, Township Director of Planning and Zoning
Marita Stoerrle, Development Coordinator
Marianne McConnell, Deputy Zoning Officer
Russell Dunlevy, PE, Township Engineer
Judith Stern Goldstein, ASLA, Township Landscape Architect
Frank Bartle, Esq., Township Solicitor
Rolph Graf, PE, Applicant's Engineer

**IN AND BEFORE THE ZONING HEARD BOARD OF
MONTGOMERY TOWNSHIP
MONTGOMERY TOWNSHIP, PENNSYLVANIA**

**APPEAL NO. 18030001
APPLICATION OF JW ACQUISITIONS, LLC
FOR VARIANCE
FROM MONTGOMERY TOWNSHIP ZONING
ORDINANCE §230-33.B
IN THE R-2 RESIDENTIAL DISTRICT**

OPINION AND ORDER

Pursuant to proper legal advertisement in Montgomery Newspapers on March 27, 2018 and April 3, 2018, a public hearing was held on April 11, 2018 commencing at 7:30 p.m. at the Montgomery Township Administration Building, 1001 Stump Road, Montgomeryville, Pennsylvania.

Present for the Zoning Hearing Board at the hearing were Edward Diasio, Chairman, L. Vincent Roth, III, Vice Chairman, and John Frazzette, Alternate board member. Mary Kay Kelm, Esquire was present as the Solicitor for the Zoning Hearing Board. Robert M. Sebia, Esquire was present as counsel for the applicant. Also present at the hearing were Bruce S. Shoupe, Director of Planning and Zoning for Montgomery Township and Marianne J. McConnell, Deputy Zoning Officer of Montgomery Township.

At the hearing, the Notes of Testimony were taken and transcribed by Tim Kurek, an Official Court Reporter.

EXHIBITS

The following documents were marked for admission into evidence as follows:

- A-1 Site plan
- A-2 Application with attachments
- A-3 CV of Rolph Graf

B-1 Proof of Publication dated March 27, 2018 and April 3, 2018

B-2 Posting of Hearing Notice dated April 3, 2018

B-3 Notification to Residents dated March 29, 2018

FINDINGS OF FACT

1. The subject property contains a single family dwelling on a 70,003 square foot lot bearing the address of 120 Richardson Road, Montgomery Township. (N.T., p. 5, & *Application*).

2. The applicant is JW Acquisitions, LLC, the equitable owner, which desires to subdivide the property into two lots in order to construct a new single family home. If subdivision is granted, the proposed single family home would be constructed on lot one and the existing dwelling would remain on lot two. (N.T. p. 5-6).

3. The zoning classification for the property is R-2 Residential. (N.T., p.5).

4. The applicant presented the testimony of Rolph Graf, who was accepted by the Board as an expert in land development. (N.T., p. 7, 8).

5. The property is a corner lot at the intersection of Richardson Road and Veronica Lane. The front of the existing home faces Richardson Road and the side faces Veronica Lane. (N.T., p. 8).

6. Veronica Lane was created as part of a development constructed approximately twenty years ago. The creation of Veronica Lane resulted in the existing home having a reduced side yard setback. (N.T., p. 8, 10).

7. The orientation of the existing home is a unique physical characteristic of the site since, although it has frontage on two roads, under Montgomery Township's Ordinance, its primary front yard is that facing Richardson Road. (N.T. p. 10).

8. The applicants propose to cut off one 23,000 square foot lot, closest to Richardson Road, which would comply with all criteria in the R-2 zoning district.(N.T., p. 6).

9. Once the proposed lot is cut off, the proposed front yard setback for the existing home would be 30.63 feet from Veronica Lane, instead of the required fifty feet. (N.T., p. 9).

10. In the opinion of the expert witness, the applicant's hardship is the configuration of the existing residence, which cannot be changed, and was not created by the applicant. (N.T., p. 10).

11. The expert witness opined that the requested relief would not alter the essentially residential character of the neighborhood, nor detract from use of neighboring properties. (N.T., p. 11).

12. The expert witness testified that the requested relief would not be detrimental to the health, safety, or welfare of the Township. *Id.*

13. Mr. Graf testified that, in his opinion, the requested relief was the minimum necessary and afforded the least modification to the Zoning Code. *Id.*

14. No members of the public appeared to question the witness or voice opinions regarding this application. (N.T., p. 13).

[Intentionally Blank]

CONCLUSIONS OF LAW

15. The Applicant requested that the ZHB provide the requested relief by variance.
16. Section 910.2 of the Pennsylvania Municipalities Planning Code states that the ZHB shall hear and decide requests for Variances where it is alleged that the provisions of the Zoning Ordinance inflict unnecessary hardship upon the Applicant. 53 P.S. §910.2.
17. In order to grant the Variance, the ZHB must make the following findings where relevant:
 - (1) that there are unique physical circumstances or conditions, including irregularity ... and that the unnecessary hardship is due to such conditions;
 - (2) because of such physical circumstances or conditions there is no possibility that the property can be developed in strict conformity with the provisions of the Zoning Ordinance and that the authorization of a variance is therefore necessary to enable the reasonable use of the property;
 - (3) that such unnecessary hardship has not been created by the Applicant;
 - (4) that the variance will not alter the essential character of the neighborhood ... nor substantially or permanently impair the appropriate use or development of the property nor be detrimental to the public welfare; and
 - (5) that the variance will represent the minimum variance that will afford relief.

DETERMINATION

18. The Zoning Hearing Board finds that the property contains unique physical conditions and cannot be developed in strict conformity with the Zoning Ordinance.
19. The applicant did not create the hardship and a variance is necessary to enable the reasonable use of the property.

20. The Zoning Hearing Board finds that the deviation from the front yard setback is the minimum variance that will afford relief.

21. The Zoning Hearing Board finds that the proposed variance will not alter the character of the neighborhood nor be detrimental to the public welfare.

22. The Zoning Hearing Board grants the Applicant's request for a variance from Montgomery Township Zoning Code Section 230-33.B.

[Intentionally Blank]

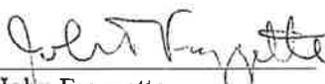
ORDER

AND NOW, this 11th day of April, 2018, the Zoning Hearing Board of Montgomery Township hereby grants a variance to JW Acquisitions, LLC from the requirements of Montgomery Township Zoning Code Section 230-33.B to permit a front yard on Lot 2 of 30.63 feet where 50 feet is required, due to the placement of the existing building on the lot. The variance and granted herein is subject to Applicant's strict compliance with the representations made at the hearing and contained in the Application.

**MONTGOMERY TOWNSHIP
ZONING HEARING BOARD**

By: 
Edward Diasio
Chairman

By: 
L. Vincent Roth III
Vice Chairman

By: 
John Frazzette
Alternate Member

MONTGOMERY TOWNSHIP BOARD OF SUPERVISORS
BOARD ACTION SUMMARY

SUBJECT: Consider Authorization to Advertise Proposed Text Amendment - Ordinance #18-306-Z – Amending Provisions of Chapter 230 Zoning Code, Deleting Waiver of Landscaping and Screening in the C-Commercial, S-Shopping Center, RS-Regional Shopping Center and Wireless Communication Facilities Security Fencing

MEETING DATE: May 29, 2018

ITEM NUMBER: #9

MEETING/AGENDA: WORK SESSION ACTION XX NONE

REASON FOR CONSIDERATION: Operational: XX Information: Discussion: Policy:

INITIATED BY: Bruce S. Shoupe
Director of Planning and Zoning

BOARD LIAISON: Candyce Fluehr Chimera
Chairman

BACKGROUND:

Proposed amendments to the Township Zoning Code by deleting the Board of Supervisors' waiver or reduction of required planting areas language in the "Landscaping and Screen" provisions of Article XIII, Section 230-78(A) of the C-Commercial District; Article XV, Section 230-89(I) of the S-Shopping Center district; Article XVI, Section 230-95(B) of the RS-Regional Shopping Center district and Article XXX, Section 230-223(5)(C) of the Wireless Communication Facilities, deleting the Board of Supervisors' security fencing waiver language.

A proposed ordinance is attached which provides for the corrective language of the Zoning Code.

ZONING, SUBDIVISION OR LAND DEVELOPMENT IMPACT: None

PREVIOUS BOARD ACTION:

On March 12, 2018 the Board of Supervisors Authorized the Township Solicitor to advertise the public hearing date upon satisfactory review comments from the Township Planning Commission and Montgomery County Planning Commission, Consultants and staff.

ALTERNATIVES/OPTIONS: None

BUDGET IMPACT:

None

RECOMMENDATION:

The Board of Supervisors hereby authorize the Township Solicitor to advertise for a Public Hearing to consider Ordinance #18-306Z for Monday, June 25, 2018 in the Township Building.

MOTION/RESOLUTION:

The Resolution is attached.

MOTION _____ **SECOND** _____ **VOTE:** _____

ROLL CALL:

| | | | | |
|------------------------|-----|---------|---------|--------|
| Tanya C. Bamford | Aye | Opposed | Abstain | Absent |
| Michael J. Fox | Aye | Opposed | Abstain | Absent |
| Jeffrey W. McDonnell | Aye | Opposed | Abstain | Absent |
| Matthew W. Quigg | Aye | Opposed | Abstain | Absent |
| Candyce Fluehr Chimera | Aye | Opposed | Abstain | Absent |

DISTRIBUTION: Board of Supervisors, Frank B. Bartle, Esq.

Resolution #

BE IT RESOLVED by the Board of Supervisors of Montgomery Township hereby set Monday, June 25, 2018, after 8:00 PM in the Township Building as the date, time and place for a Public Hearing to consider Ordinance #18-306-Z which proposes to amend the Zoning Ordinance by deleting the Board of Supervisors' waiver or reduction required planting areas language in Article XIII, Section 230-78(A), C-Commercial District; Article XV, Section 230-89(I), S-Shopping Center District; Article XVI, Section 230-95(B), RE-Regional Shopping Center District and deleting the Board of Supervisors' security fence waiver language set forth in Article XXX, Section 230-223(5)(C), Wireless Telecommunication Facilities.

Be it further resolved that the Township Solicitor be authorized to advertise said public hearing to be held on June 25, 2018 after 8:00 P.M.

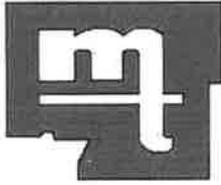
MOTION BY:

SECOND BY:

VOTE:

DATE:

xc: F. Bartle, B. Shoupe, M. Gambino, Minute Book, Resolution File, File



MEMORANDUM

TO: Board of Supervisors

FROM: Planning Commission
Jay Glickman, Chairman

DATE: May 17, 2018

RE: Text Amendment – Chapter 230, Zoning Code – Landscaping and Screen

The Planning Commission has reviewed the proposed amendments to the Township Zoning Code whereby it is proposed to delete the provisions of the code granting the Board of Supervisors the ability for a waiver or reduction of required planting areas language in the "Landscaping and Screen" provisions of Article XIII, Section 230-78(A) of the C-Commercial District; Article XV, Section 230-89(I) of the S-Shopping Center district; Article XVI, Section 230-95(B) of the RS-Regional Shopping Center district and Article XXX, Section 230-223(5)(C) of the Wireless Communication Facilities, deleting the Board of Supervisors' security fencing waiver language.

The Planning Commission recommends to the Board of Supervisors that this ordinance be approved.

**MONTGOMERY COUNTY
BOARD OF COMMISSIONERS**
VALERIE A. ARKOOSH, MD, MPH, CHAIR
KENNETH E. LAWRENCE, JR., VICE CHAIR
JOSEPH C. GALE, COMMISSIONER



**MONTGOMERY COUNTY
PLANNING COMMISSION**
MONTGOMERY COUNTY COURTHOUSE • PO BOX 311
NORRISTOWN, PA 19404-0311
610-278-3722
FAX: 610-278-3941 • TDD: 610-631-1211
WWW.MONTCOPA.ORG

JODY L. HOLTON, AICP
EXECUTIVE DIRECTOR

April 10, 2018

Mr. Bruce S. Shoupe, Director of Planning/Zoning
Montgomery Township
1001 Stump Road
Montgomeryville, Pennsylvania 18936-9605

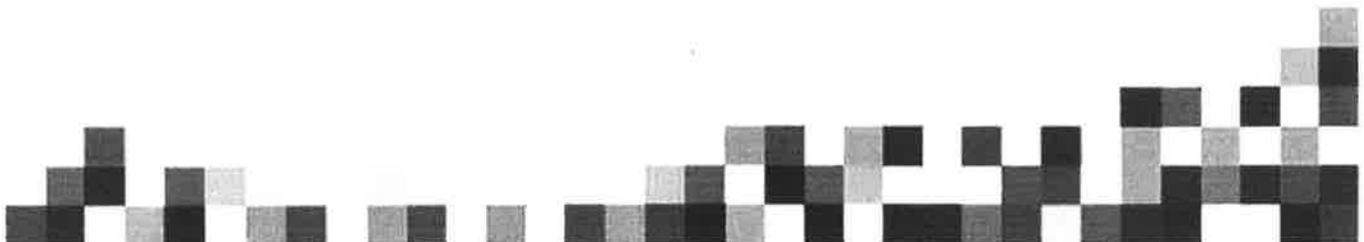
Re: MCPC #18-0074-001
Zoning Ordinance Amendments to Four Zoning Districts
To Remove Board of Supervisors' Waiver Ability for Landscape Buffers
Montgomery Township

Dear Mr. Shoupe:

We have reviewed the above-referenced zoning ordinance text amendments in accordance with Section 609 of Act 247, "The Pennsylvania Municipalities Planning Code," as you requested on March 26, 2018. We forward this letter as a report of our review and recommendations.

BACKGROUND

The application is a proposal to amend four sections (C – Commercial District, S – Shopping Center District, RS – Regional Shopping Center District, and Wireless Telecommunications Facilities) of the Township's Zoning Code to remove references to waivers granted by the Board of Supervisors for landscape buffering. For the first three sections listed above, the proposal removes the text provision allowing the Board of Supervisors to waive or reduce required planted buffer areas when a side or rear boundary line abuts a commercial or industrial use or zoning district. For the fourth section, the proposal removes the explicit ability for the Board of Supervisors to waive required six foot in height security fencing around antennas, support structures, and communications equipment. The township is serving as the applicant for the zoning amendment.



RECOMMENDATION/COMMENTS

The Montgomery County Planning Commission (MCPC) generally supports the applicant's proposed amendments. Since the ordinance has been proposed by the Township, the County takes the stance that the local government has decided there is a need for stricter enforcement of landscape buffer provisions, and the County agrees with the need for a housekeeping amendment designed to meet the intent of the Municipalities Planning Code.

Please note that the review comments and recommendations contained in this report are advisory to the municipality and final disposition for the approval of any proposal will be made by the municipality.

Should the governing body adopt these proposed zoning ordinance amendments, Section 609 of the Municipalities Planning Code requires that we be sent an official copy within 30 days.

Sincerely,



Matthew Popek, Transportation Planner II
mpopek@montcopa.org – 610-278-3730

c: Lawrence Gregan, Twp. Manager
Jay Glickman, Chrm., Twp. Planning Commission

MONTGOMERY TOWNSHIP

ORDINANCE #18-

AN ORDINANCE AMENDING THE TOWNSHIP'S ZONING ORDINANCE BY (1) DELETING THE BOARD OF SUPERVISORS' WAIVER OR REDUCTION OF REQUIRED PLANTING AREAS LANGUAGE IN THE "LANDSCAPING AND SCREENING" PROVISIONS OF ARTICLE XIII, SECTION 230-78(A) [C-COMMERCIAL DISTRICT/DEVELOPMENT STANDARDS AND REGULATIONS]; ARTICLE XV, SECTION 230-89(I) [S-SHOPPING CENTERS/DEVELOPMENT PLAN]; AND ARTICLE XVI, SECTION 230-95(B) [RS-REGIONAL SHOPPING CENTER DISTRICT/DEVELOPMENT STANDARDS]; AND (2) DELETING THE BOARD OF SUPERVISORS' SECURITY FENCE WAIVER LANGUAGE SET FORTH IN ARTICLE XXX, SECTION 230-223(5)(C) [WIRELESS TELECOMMUNICATIONS FACILITY/DEVELOPMENT REGULATIONS/WIRELESS...COMMUNICATIONS EQUIPMENT BUILDINGS AND/OR STRUCTURES/SECURITY FENCING]

ENACTED: _____

MONTGOMERY TOWNSHIP

ORDINANCE #18-

AN ORDINANCE AMENDING THE TOWNSHIP'S ZONING ORDINANCE BY (1) DELETING THE BOARD OF SUPERVISORS' WAIVER OR REDUCTION OF REQUIRED PLANTING AREAS LANGUAGE IN THE "LANDSCAPING AND SCREENING" PROVISIONS OF ARTICLE XIII, SECTION 230-78(A) [C-COMMERCIAL DISTRICT/DEVELOPMENT STANDARDS AND REGULATIONS]; ARTICLE XV, SECTION 230-89(I) [S-SHOPPING CENTERS/DEVELOPMENT PLAN]; AND ARTICLE XVI, SECTION 230-95(B) [RS-REGIONAL SHOPPING CENTER DISTRICT/DEVELOPMENT STANDARDS]; AND (2) DELETING THE BOARD OF SUPERVISORS' SECURITY FENCE WAIVER LANGUAGE SET FORTH IN ARTICLE XXX, SECTION 230-223(5)(C) [WIRELESS TELECOMMUNICATIONS FACILITY/DEVELOPMENT REGULATIONS/WIRELESS...COMMUNICATIONS EQUIPMENT BUILDINGS AND/OR STRUCTURES/SECURITY FENCING]

IT IS HEREBY ENACTED AND ORDAINED by the Montgomery Township Board of Supervisors that the Township's Zoning Ordinance and Land Subdivision Ordinance are hereby amended as follows:

SECTION 1. Amendment to Article XIII, Section 230-78(A) [C-Commercial District/Development Standards and Regulations/Landscaping and Screening]

Article XIII, Section 230-78(A) [C-Commercial District/ Development Standards and Regulations/Landscaping and Screening] shall be amended to delete the Board of Supervisors' waiver or reduction of required planting areas language and will read as follows:

§230-78. Development standards and regulations.

- A. Landscaping and screening. A planting area no less than 25 feet in width of grass, lawn, shrubbery, evergreens and trees shall be planted in accordance with a landscaping and screening plan as provided in Article VI of Chapter 205, the Montgomery Township Subdivision Ordinance, No. 18, and continuously maintained in a proper and attractive manner along all street frontages of property, exclusive of driveway and access areas, and along all

side and rear boundary lines.

SECTION 2. Amendment to Article XV, Section 230-89(I) [S-Shopping Center District/Development plan/Landscaping and Screening]

Article XV, Section 230-89(I) [S-Shopping Center District/ Development plan/ Landscaping and Screening] shall be amended to delete the Board of Supervisors' waiver or reduction of required planting areas language and will read as follows:

§230-89. Development plan.

- I. Landscaping and screening. A planting area no less than 25 feet in width of grass, lawn, shrubbery, evergreens and trees shall be planted in accordance with a landscaping and screening plan as provided in Article VI of Chapter 205, the Montgomery Township Subdivision Ordinance, No. 18, and continuously maintained in a proper and attractive manner along all street frontages of property, exclusive of driveway and access areas, and along all side and rear boundary lines.

SECTION 3. Amendment to Article XVI, Section 230-95(B) [RS-Regional Shopping Center District/Development Standards]

Article XVI, Section 230-95(B) [RS-Regional Shopping Center District/Development Standards] shall be amended to delete the Board of Supervisors' waiver or reduction of required planting areas language and will read as follows:

§230-95. Development standards.

- B. Landscaping and screening. A planting area no less than 25 feet in width of grass, lawn, shrubbery, evergreens and trees shall be planted in accordance with a landscaping and screening plan as provided in Article VI of Chapter 205, the Montgomery Township Subdivision Ordinance, No. 18, and continuously maintained in a proper and attractive manner along all street frontages of property, exclusive of driveway and access areas, and along all side and rear boundary lines.

SECTION 4. Amendment to Article XXX, Section 230-223(5)(C) [Wireless Telecommunications Facility/ Development Regulations/ Wireless... Communications Equipment Buildings and/or Structures/Security Fencing]

Article XXX, Section 230-223(5)(c) [Wireless Telecommunications Facility/Development Regulations/Wireless... Communications Equipment Buildings and/or Structures/Security Fencing] shall be amended to delete the Township Board of Supervisors' security fencing waiver and will read as follows:

§230-223. Development regulations.

- (5) Wireless, telephone, broadcast radio, broadcast television and two-way radio antennas, communications, equipment buildings and or support structures.

- (c) Security fencing. Ground-mounted antennas, support structures and communications equipment buildings shall be enclosed by locked security fencing, a minimum of six feet in height.

SECTION 5. Repeal and Ratification

All ordinances or parts of ordinances inconsistent herewith or in conflict with any of the specific terms enacted hereby, to the extent of said inconsistencies or conflicts, are hereby specifically repealed. Any other terms and provisions of the ordinances of the Township that are unaffected by this Ordinance are hereby reaffirmed and ratified.

SECTION 6. Severability

Should any section, paragraph, sentence, clause, or phrase in this Ordinance be declared unconstitutional or invalid for any reason, the remainder of the Ordinance shall not be affected thereby and shall remain in full force and effect, and for this reason the provisions of this Ordinance shall be severable.

SECTION 7. Effective Date

This Ordinance shall become effective five (5) days after enactment.

ORDAINED AND ENACTED this _____ day of
_____ 2018 by the Board of Supervisors.

**MONTGOMERY TOWNSHIP
BOARD OF SUPERVISORS**

CANDYCE FLUEHR CHIMERA
Chair

[Seal]

Attested by:

LAWRENCE J. GREGAN
Township Manager/Secretary

MONTGOMERY TOWNSHIP BOARD OF SUPERVISORS
BOARD ACTION SUMMARY

SUBJECT: Consider Construction Escrow Release #2 - #M-15-71 – North Wales Crossing Shopping Center Renovations

MEETING DATE: May 29, 2018

ITEM NUMBER: #10

MEETING/AGENDA: WORK SESSION ACTION XX NONE

REASON FOR CONSIDERATION: Operational: XX Information: Discussion: Policy:

INITIATED BY: Bruce Shoupe **BOARD LIAISON:** Joseph P. Walsh
Director of Planning and Zoning Chairman

BACKGROUND:

Attached is a construction escrow release requested by Goodman Properties for the North Wales Crossing Shopping Center renovations, as recommended by the Township Engineer. The original amount of the escrow was \$94,874.73, held as a Cash Escrow. This is the second escrow release for this project. The current release is for \$12,962.48. This would close out this account upon payments of all consultant fees for this project.

ZONING, SUBDIVISION OR LAND DEVELOPMENT IMPACT: None

PREVIOUS BOARD ACTION: None

ALTERNATIVES/OPTIONS:

Approve or not approve the construction escrow release.

BUDGET IMPACT: None.

RECOMMENDATION:

That this construction escrow be released.

MOTION/RESOLUTION:

The Board of Supervisors hereby authorize a construction escrow release in the amount of \$12,962.48, as recommended by the Township Landscape Engineer for the North Wales Shopping Center project contingent upon payment of any outstanding Township invoices.

MOTION _____ **SECOND** _____

ROLL CALL:

| | | | | |
|------------------------|-----|---------|---------|--------|
| Tanya C. Bamford | Aye | Opposed | Abstain | Absent |
| Michael J. Fox | Aye | Opposed | Abstain | Absent |
| Jeffrey W. McDonnell | Aye | Opposed | Abstain | Absent |
| Matthew W. Quigg | Aye | Opposed | Abstain | Absent |
| Candyce Fluehr Chimera | Aye | Opposed | Abstain | Absent |

DISTRIBUTION: Board of Supervisors, Frank R. Bartle, Esq.

Resolution #

WHEREAS, a request for a release of escrow was received from North Wales Crossing Associates LTD, M-15-71 for the renovations at North Wales Crossing shopping center in the amount of \$12,962.48; and

WHEREAS, North Wales Crossing Associates LTD posted \$94,874.73 cash for the required the above property; and

NOW, THEREFORE, BE IT RESOLVED BY the Board of Supervisors of Montgomery Township that we do hereby authorize the release of \$12,962.48, held as a Cash Escrow, in accordance with the applicant's request, and the officers of the Township are authorized to take the necessary action to obtain release of said sum, contingent upon payment of any outstanding Township invoices. This action will close this escrow account.

MOTION BY:

SECOND BY:

VOTE:

DATE:

xc: Applicant, B. Shoupe, Finance Department, M. Gambino, Minute Book, Resolution File, File



VIA EMAIL

May 15, 2018

File No. 2014-03097

Mr. Lawrence Gregan, Township Manager
Montgomery Township
1001 Stump Road
Montgomeryville, PA 18936

Reference: Improvement Financial Security Release 2
North Wales Crossing SC Renovation (M-15-71)

Dear Larry:

We have received and reviewed the Request for Escrow Release for the above-referenced project. This letter is to certify that the improvements attached to this letter in the amount of \$12,962.48 have been completed. We recommend this release be contingent upon the applicant providing the required 18 month maintenance security in an amount of \$12,937.46. Please find enclosed a copy of our escrow calculations for your use.

Should you have any further questions or require any additional information, please do not hesitate to contact our office.

Sincerely,

A handwritten signature in cursive that reads 'James P. Dougherty'.

James P. Dougherty, P.E.
Gilmore & Associates, Inc.
Senior Project Manager

JPD/sl

Enclosure: as referenced

cc: Bruce Shoupe, Director of Planning and Zoning – Montgomery Township
Marianne McConnell, Deputy Zoning Officer – Montgomery Township
Judith Stern Goldstein, ASLA, R.L.A. - Boucher & James, Inc.
Kevin Johnson, P.E. – Traffic Planning & Design, Inc.
Christopher Anderson, Director of Real Estate, Goodman Properties
Warren Phillips, Goodman Properties
Russell S. Dunlevy, P.E., Senior Executive Vice President – Gilmore & Associates, Inc.
Brian Dusault, Construction Services Manager – Gilmore & Associates, Inc.

BUILDING ON A FOUNDATION OF EXCELLENCE

RELEASE OF ESCROW FORM

James P. Dougherty, P.E.
Senior Project Manager
Gilmore & Associates, Inc.
65 East Butler Avenue, Suite 100
New Britain, PA 18901
215-345-4330

Date: 05/08/2018

Development: North Wales Crossing SC Renovation - #M-15-71
Release #: 2

G&A Project #: 2014-03097

Dear Mr. Dunlevy:

This is an escrow release request in the amount of \$12,962.48. Enclosed is a copy of our escrow spreadsheet with the quantities noted.

ESCROW RELEASE REQUESTS ARE LIMITED TO ONE PER MONTH.

Mr. Lawrence Gegan
Township Manager
Montgomery Township
1001 Stump Road
Montgomeryville, PA 18936

Date: 05/14/2018

Dear Mr. Gegan:

We have reviewed the developer's request for an escrow release. We therefore, recommend that \$12,962.48 be released. These improvements will be subject to a final observation prior to dedication and again at the end of the maintenance period. Any deficiencies will be required to be corrected by the developer.

James P. Dougherty 5/14/18
James P. Dougherty, P.E., Senior Project Manager, Gilmore & Associates, Inc.

Resolution # _____

WHEREAS, a request for release of escrow was received from Goodman Properties for North Wales Crossing SC Renovation - #M-15-71, in the amount of \$12,962.48, on the representation that work set forth in the Land Development Agreement to the extent has been completed and; WHEREAS, said request has been reviewed by the Township Engineer who recommends release of \$12,962.48; NOW, THEREFORE, BE IT RESOLVED by the Board of Supervisors of Montgomery Township that we do hereby authorize release of \$12,962.48; in accordance with the developer's request, and the officers of the Township are authorized to take the necessary action to obtain release of said sum.
BE IT FURTHER RESOLVED that Township records indicate that escrow has been deposited via Cash with Montgomery Township in total sum of \$94,874.73 pursuant to a signed Land Development Agreement and that \$81,912.25 has previously been released from escrow. Therefore, the action of the Board releasing said sum leaves a new balance of \$0.00 in escrow.

MOTION BY _____
SECOND BY: _____
DATED: _____
RELEASED BY: _____
Department Director

VOTE: _____



ESCROW STATUS REPORT

SUMMARY OF ESCROW ACCOUNT

RELEASE NO.: 2
RELEASE DATE: 14-May-2018

| | | | | | |
|-------------------|------------------------------------|---------------------------------------|--------------|--------------------------------------|---------------------|
| PROJECT NAME: | North Wales Crossing SC Renovation | TOTAL CONSTRUCTION: | \$86,249.75 | ORIGINAL CONSTRUCTION AMOUNT: | \$ 94,874.73 |
| PROJECT NO.: | 2014-03097 | TOTAL CONSTRUCTION CONTINGENCY (10%): | \$ 8,624.98 | | |
| TOWNSHIP NO.: | #M-15-71 | TOTAL CONSTRUCTION ESCROW POSTED: | \$ 94,874.73 | AMOUNT OF THIS RELEASE: | \$ 12,962.48 |
| PROJECT OWNER: | Goodman Properties | | | PRIOR CONSTRUCTION RELEASED: | \$ 81,912.25 |
| MUNICIPALITY: | Montgomery Township | TOTAL ENG/INSP/LEGAL (CASH ACCOUNT): | \$ 4,400.00 | TOTAL CONSTRUCTION RELEASED TO DATE: | \$ 94,874.73 |
| ESCROW AGENT: | Montgomery Township | TOTAL ADMINISTRATION (CASH ACCOUNT): | \$ 2,000.00 | | |
| TYPE OF SECURITY: | Cash | | | BALANCE AFTER CURRENT RELEASE: | \$ - |
| AGREEMENT DATE: | 3-Jun-2015 | MAINTENANCE BOND AMOUNT (15%): | \$ 12,937.46 | | |

| ESCROW TABULATION | | | | | CURRENT RELEASE | | RELEASED TO DATE | | AVAILABLE FOR RELEASE | | RELEASE REQ #3 |
|--|-------|----------|--------------|--------------|-----------------|--------------|------------------|--------------|-----------------------|--------------|----------------|
| CONSTRUCTION ITEMS | UNITS | QUANTITY | UNIT PRICE | TOTAL AMOUNT | QUANTITY | TOTAL AMOUNT | QUANTITY | TOTAL AMOUNT | QUANTITY | TOTAL AMOUNT | QUANTITY |
| I. SITE PREPARATION/DEMOLITION | | | | | | | | | | | |
| 1. Clearing & Grubbing | LS | 1 | \$ 1,000.00 | \$ 1,000.00 | | | 1.00 | \$ 1,000.00 | | | |
| 2. Tree Removal | LS | 1 | \$ 2,050.00 | \$ 2,050.00 | | | 1.00 | \$ 2,050.00 | | | |
| 3. Conc. Curb Removal | LF | 190 | \$ 5.00 | \$ 950.00 | | | 190.00 | \$ 950.00 | | | |
| II. EARTHWORK | | | | | | | | | | | |
| 1. Site Work | | | | | | | | | | | |
| Topsoil Cut & Stockpile, to Subgrade, Export Excess Spoils and Topsoil Replacement | LS | 1 | \$ 7,500.00 | \$ 7,500.00 | | | 1.00 | \$ 7,500.00 | | | |
| III. STORM SEWER | | | | | | | | | | | |
| 1. Pipes, Inlets, Underdrain and Yard Drain | LS | 1 | \$ 9,000.00 | \$ 9,000.00 | | | 1.00 | \$ 9,000.00 | | | |
| 2. Rain Garden | | | | | | | | | | | |
| Drainage Stone, Fabric, Bio Soil Mix, and Curb Depression Rip-Rap Spillways | LS | 1 | \$ 12,000.00 | \$ 12,000.00 | | | 1.00 | \$ 12,000.00 | | | |
| IV. SITE WORK | | | | | | | | | | | |
| 1. Concrete Curb (7x8x18) | LF | 225 | \$ 23.33 | \$ 5,249.25 | | | 225.00 | \$ 5,249.25 | | | |
| 2. Pressure Treated Wood Fence | LS | 1 | \$ 5,700.00 | \$ 5,700.00 | | | 1.00 | \$ 5,700.00 | | | |
| V. PAVING | | | | | | | | | | | |
| 1. Fine Grade | LS | 1 | \$ 1,500.00 | \$ 1,500.00 | | | 1.00 | \$ 1,500.00 | | | |
| 2. 3" Subbase (PennDOT No. 2A) | SY | 410 | \$ 8.50 | \$ 3,485.00 | | | 410.00 | \$ 3,485.00 | | | |
| 3. 5" BCBC | SY | 410 | \$ 26.50 | \$ 10,865.00 | 97.00 | \$ 2,570.50 | 410.00 | \$ 10,865.00 | | | |
| 4. 1.5" ID-2 Wearing Course | SY | 410 | \$ 11.00 | \$ 4,510.00 | 97.00 | \$ 1,067.00 | 410.00 | \$ 4,510.00 | | | |
| 5. Curb & Joint Seal | LF | 410 | \$ 1.55 | \$ 635.50 | | | 410.00 | \$ 635.50 | | | |
| VI. TRAFFIC CONTROL | | | | | | | | | | | |
| 1. Pavement Striping | LS | 1 | \$ 500.00 | \$ 500.00 | | | 1.00 | \$ 500.00 | | | |



ESCROW STATUS REPORT

SUMMARY OF ESCROW ACCOUNT

| | | | | | |
|-------------------|------------------------------------|---------------------------------------|--------------|--------------------------------------|--------------|
| PROJECT NAME: | North Wales Crossing SC Renovation | TOTAL CONSTRUCTION: | \$86,249.75 | ORIGINAL CONSTRUCTION AMOUNT: | \$ 94,874.73 |
| PROJECT NO.: | 2014-03097 | TOTAL CONSTRUCTION CONTINGENCY (10%): | \$ 8,624.98 | AMOUNT OF THIS RELEASE: | \$ 12,962.48 |
| TOWNSHIP NO.: | #M-15-71 | TOTAL CONSTRUCTION ESCROW POSTED: | \$ 94,874.73 | PRIOR CONSTRUCTION RELEASED: | \$ 81,912.25 |
| PROJECT OWNER: | Goodman Properties | | | TOTAL CONSTRUCTION RELEASED TO DATE: | \$ 94,874.73 |
| MUNICIPALITY: | Montgomery Township | TOTAL ENG/INSP/LEGAL (CASH ACCOUNT): | \$ 4,400.00 | BALANCE AFTER CURRENT RELEASE: | \$ - |
| ESCROW AGENT: | Montgomery Township | TOTAL ADMINISTRATION (CASH ACCOUNT): | \$ 2,000.00 | | |
| TYPE OF SECURITY: | Cash | | | | |
| AGREEMENT DATE: | 3-Jun-2015 | MAINTENANCE BOND AMOUNT (15%): | \$ 12,937.46 | | |

| ESCROW TABULATION | | | | | CURRENT RELEASE | | RELEASED TO DATE | | AVAILABLE FOR RELEASE | | RELEASE REQ #3 |
|--|-------|----------|-------------|--------------|-----------------|--------------|------------------|--------------|-----------------------|--------------|----------------|
| CONSTRUCTION ITEMS | UNITS | QUANTITY | UNIT PRICE | TOTAL AMOUNT | QUANTITY | TOTAL AMOUNT | QUANTITY | TOTAL AMOUNT | QUANTITY | TOTAL AMOUNT | QUANTITY |
| VII. LANDSCAPING | | | | | | | | | | | |
| 1. Ornamental Trees (8'-9"Ht.) | LS | 2 | \$ 325.00 | \$ 650.00 | | | 2.00 | \$ 650.00 | | \$ - | |
| 2. Evergreens (8'-10"Ht) | EA | 9 | \$ 415.00 | \$ 3,735.00 | | | 9.00 | \$ 3,735.00 | | \$ - | |
| 3. Shrubs | | | | | | | | | | | |
| 24"-30"Ht | EA | 13 | \$ 65.00 | \$ 845.00 | | | 13.00 | \$ 845.00 | | \$ - | |
| 36"-48"Ht | EA | 8 | \$ 75.00 | \$ 600.00 | | | 8.00 | \$ 600.00 | | \$ - | |
| 4. Perennials and Groundcover | LS | 1 | \$ 4,225.00 | \$ 4,225.00 | | | 1.00 | \$ 4,225.00 | | \$ - | |
| 5. Mulch Rain Garden | CY | 20 | \$ 25.00 | \$ 500.00 | | | 20.00 | \$ 500.00 | | \$ - | |
| 6. Fine Grade, Topsoil, Seed & Straw | LS | 1 | \$ 1,400.00 | \$ 1,400.00 | | | 1.00 | \$ 1,400.00 | | \$ - | |
| 7. Water & Maintenance | LS | 1 | \$ 1,500.00 | \$ 1,500.00 | | | 1.00 | \$ 1,500.00 | | \$ - | |
| VIII. LIGHTING | | | | | | | | | | | |
| 1. Remove and Replace Pole | LS | 1 | \$ 5,500.00 | \$ 5,500.00 | | | 1.00 | \$ 5,500.00 | | \$ - | |
| IX. MISCELLANEOUS | | | | | | | | | | | |
| 1. Construction Layout Services | LS | 1 | \$ 650.00 | \$ 650.00 | | | 1.00 | \$ 650.00 | | \$ - | |
| 2. Construction Inspection & Testing | LS | 1 | \$ 1,000.00 | \$ 1,000.00 | | | 1.00 | \$ 1,000.00 | | \$ - | |
| 3. As Built Plans | LS | 1 | \$ 700.00 | \$ 700.00 | 1.00 | \$ 700.00 | 1.00 | \$ 700.00 | | \$ - | |
| X. CONTINGENCY (10%) | | | | | | | | | | | |
| <i>(Released upon certification of completion and receipt of Maintenance Bond)</i> | | | | | | | | | | | |
| | | 1 | \$ 8,624.98 | \$ 8,624.98 | 1.00 | \$ 8,624.98 | 1.00 | \$ 8,624.98 | | \$ - | |



Boucher & James, Inc.
CONSULTING ENGINEERS

AN EMPLOYEE OWNED COMPANY
INNOVATIVE ENGINEERING

Fountainville Professional Building
1456 Ferry Road, Building 500
Daylesstown, PA 18901
215-345-9400
Fax 215-345-9401

2756 Rimrock Drive
Stroudsburg, PA 18360
570-629-0300
Fax 570-629-0306

Mailing:
P.O. Box 699
Bartonsville, PA 18321

559 Main Street, Suite 230
Bethlehem, PA 18018
610-419-9407
Fax 610-419-9408

www.bjengineers.com

May 8, 2018

Mr. James P. Dougherty, P.E.
Gilmore & Associates, Inc.
65 E. Butler Ave. Suite 100
New Britain, PA 18901

**SUBJECT: NORTH WALES CROSSING
LANDSCAPE INSPECTION 02
TOWNSHIP LD/S NO. M-15-71
PROJECT NO. 1455274R**

Dear Mr. Dougherty:

Please be advised that on Tuesday, May 08, 2018 I conducted an inspection of plant material installed at the North Wales Crossing site, as requested by Galbally Landscaping on May 4, 2018. This inspection was conducted in accordance with the approved plan set prepared by Charles E. Shoemaker, Inc., dated January 30, 2015 and last revised April 21, 2015, and the plant list submitted by Galbally Landscaping dated July 16, 2015.

It should be noted that the originally approved Rhododendron have been replaced with 36" Ilex glabra. While no substitution request was submitted, the substituted plants are acceptable.

All landscape material has been provided in accordance with the approved landscape plans and substitutions, and is of acceptable size, species and condition to release all remaining landscape escrow funds. Please note, authorization of this release should not be construed as Final Approval or Acceptance of the improvements installed to date.

Please do not hesitate to contact me if you have any questions or require further information.

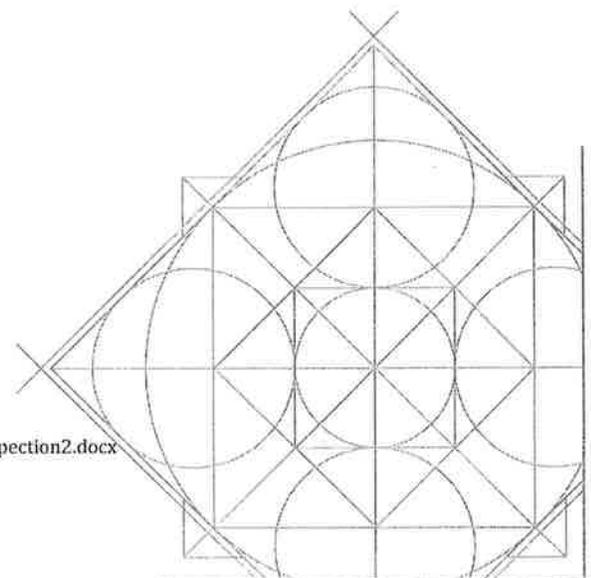
Sincerely,

Valerie L. Liggett, ASLA, R.L.A.
ISA Certified Arborist®
Planner/Landscape Architect

VLL/kam

ec: Board of Supervisors
Lawrence Gregan, Township Manager
Bruce Shoupe, Director of Planning and Zoning
Marianne McConnell, Deputy Zoning Officer
Warren Phillips, Goodman Properties

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Bruce S. Shoupe

From: Warren Phillips <warren@goodmanproperties.org>
Sent: Monday, May 7, 2018 1:03 PM
To: JDOUGHERTY@gilmore-assoc.com; Bruce S. Shoupe
Cc: Betsy Hasher; Nina Sternberg; Sean Brown
Subject: North Wales Crossing
Attachments: Fwd: North Wales Crossing; Letter.To.JDougherty.LandscapeInspection1.pdf

Gentleman, with the removal and replacement of said landscape materials we are asking for final inspection and final escrow release. Thank you for your understanding in this matter.

Thank You,

Warren Phillips
Construction Manager
636 Old York Road
Jenkintown, PA 19046
Office: (215) 885-8383
Fax: (215) 885-4789
warren@goodmanproperties.org



Boucher & James, Inc.
CONSULTING ENGINEERS

AN EMPLOYEE OWNED COMPANY
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Fax 215-345-9401

2756 Rimrock Drive
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Fax 570-629-0306

Mailing:
P.O. Box 699
Bartonsville, PA 18321

559 Main Street, Suite 230
Bethlehem, PA 18018
610-419-9407
Fax 610-419-9408

www.bjengineers.com

May 8, 2018

Mr. James P. Dougherty, P.E.
Gilmore & Associates, Inc.
65 E. Butler Ave. Suite 100
New Britain, PA 18901

**SUBJECT: NORTH WALES CROSSING
LANDSCAPE INSPECTION 02
TOWNSHIP LD/S NO. M-15-71
PROJECT NO. 1455274R**

Dear Mr. Dougherty:

Please be advised that on Tuesday, May 08, 2018 I conducted an inspection of plant material installed at the North Wales Crossing site, as requested by Galbally Landscaping on May 4, 2018. This inspection was conducted in accordance with the approved plan set prepared by Charles E. Shoemaker, Inc., dated January 30, 2015 and last revised April 21, 2015, and the plant list submitted by Galbally Landscaping dated July 16, 2015.

It should be noted that the originally approved Rhododendron have been replaced with 36" Ilex glabra. While no substitution request was submitted, the substituted plants are acceptable.

All landscape material has been provided in accordance with the approved landscape plans and substitutions, and is of acceptable size, species and condition to release all remaining landscape escrow funds. Please note, authorization of this release should not be construed as Final Approval or Acceptance of the improvements installed to date.

Please do not hesitate to contact me if you have any questions or require further information.

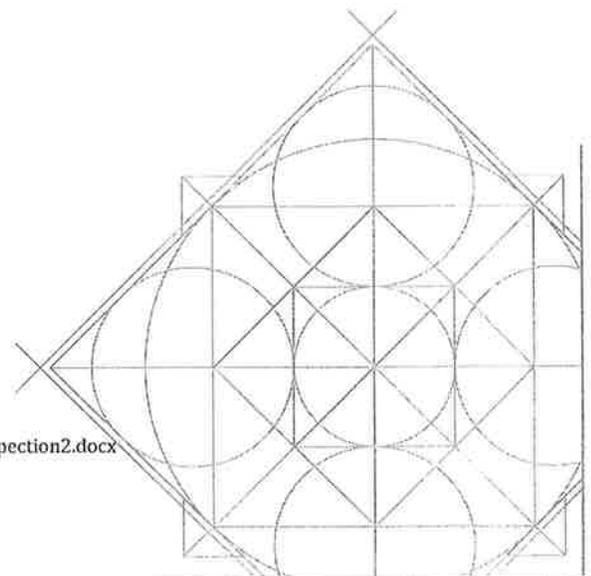
Sincerely,

Valerie L. Liggett, ASLA, R.L.A.
ISA Certified Arborist®
Planner/Landscape Architect

VLL/kam

ec: Board of Supervisors
Lawrence Gregan, Township Manager
Bruce Shoupe, Director of Planning and Zoning
Marianne McConnell, Deputy Zoning Officer
Warren Phillips, Goodman Properties

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MONTGOMERY TOWNSHIP BOARD OF SUPERVISORS
BOARD ACTION SUMMARY

SUBJECT: Consider Construction Escrow Release #2 - LDS#630 – Firefox Phase II

MEETING DATE: May 29, 2018

ITEM NUMBER: # 11.

MEETING/AGENDA: WORK SESSION ACTION XX NONE

REASON FOR CONSIDERATION: Operational: XX Information: Discussion: Policy:

INITIATED BY: Bruce Shoupe
Director of Planning and Zoning

BOARD LIAISON: Candyce Fluehr Chimera
Chairman

BACKGROUND:

Attached is a construction escrow release requested by Brian Grant for Firefox Phase 2, North Village, as recommended by the Township Engineer. The original amount of the escrow was \$1,730,357.61, held as a LOC with Univest Bank. This is the second escrow release for this project. The current release is in the amount of \$48,722.46. The new balance would be \$1,538,112.90.

ZONING, SUBDIVISION OR LAND DEVELOPMENT IMPACT:

None

PREVIOUS BOARD ACTION:

None

ALTERNATIVES/OPTIONS:

Approve or not approve the construction escrow release.

BUDGET IMPACT:

None.

RECOMMENDATION:

That this construction escrow be released.

MOTION/RESOLUTION:

The Board of Supervisors hereby authorize a construction escrow release in the amount of \$48,722.46, as recommended by the Township Engineer for the Firefox project.

MOTION _____ SECOND _____ VOTE _____

ROLL CALL:

| | | | | |
|------------------------|-----|---------|---------|--------|
| Tanya C. Bamford | Aye | Opposed | Abstain | Absent |
| Michael J. Fox | Aye | Opposed | Abstain | Absent |
| Jeffrey W. McDonnell | Aye | Opposed | Abstain | Absent |
| Matthew W. Quigg | Aye | Opposed | Abstain | Absent |
| Candyce Fluehr Chimera | Aye | Opposed | Abstain | Absent |

DISTRIBUTION: Board of Supervisors, Frank R. Bartle, Esq.



VIA EMAIL

May 22, 2018

File No. 2012-09009-03

Mr. Lawrence Gregan, Township Manager
Montgomery Township
1001 Stump Road
Montgomeryville, PA 18936

Reference: Firefox Phase 2 (Northern Village) – LD/S #630
Financial Security Release 2

Dear Larry:

We have received and reviewed the Request for Escrow Release for the above-referenced project. This letter is to certify that the improvements attached to this letter in the amount of \$48,722.46 have been completed. Please find enclosed a copy of our escrow calculations and the application for release of funds for your use.

Please be advised that these improvements will be subject to a final inspection prior to dedication and again at the end of the maintenance period. Any deficiencies will be required to be corrected by the developer.

Should you have any further questions or require any additional information, please do not hesitate to contact our office.

Sincerely,

A handwritten signature in black ink that reads 'James P. Dougherty'.

James P. Dougherty, P.E.
Senior Project Manager
Gilmore & Associates, Inc.

JPD/SW/sl

Enclosures: Release of Escrow Form, Escrow Status Report

cc: Bruce S. Shoupe, Director of Planning and Zoning
Kevin Johnson, P.E. - Traffic Planning & Design, Inc.
Judith Stern Goldstein, ASLA, R.L.A. - Boucher & James, Inc.
Brian C. Grant - Select Properties

BUILDING ON A FOUNDATION OF EXCELLENCE

65 E. Butler Avenue | Suite 100 | New Britain, PA 18901 | Phone: 215-345-4330 | Fax: 215-345-8606

www.gilmore-assoc.com

RELEASE OF ESCROW FORM

James P. Dougherty, P.E.
Senior Project Manager
Gilmore & Associates, Inc.
65 East Butler Avenue, Suite 100
New Britain, PA 18901
215-345-4330

Date: 05/16/2018

Development: Firefox - Ph. 2 (Northern) - LDS-630
Release #: 2

G&A Project #: 2012-09009-03

Dear Mr. Dougherty:

This is an escrow release request in the amount of \$48,722.46. Enclosed is a copy of our escrow spreadsheet with the quantities noted.

ESCROW RELEASE REQUESTS ARE LIMITED TO ONE PER MONTH.

Mr. Lawrence Gregan
Township Manager
Montgomery Township
1001 Stump Road
Montgomeryville, PA 18936

Date: 05/22/2018

Dear Mr. Gregan:

We have reviewed the developer's request for an escrow release. We therefore, recommend that \$48,722.46 be released. These improvements will be subject to a final observation prior to dedication and again at the end of the maintenance period. Any deficiencies will be required to be corrected by the developer.

James P. Dougherty 5/22/18
James P. Dougherty, P.E., Senior Project Manager, Gilmore & Associates, Inc.

Resolution # _____

WHEREAS, a request for release of escrow was received from Crystal Road Enterprises, LLC for Firefox - Ph. 2 (Northern) - LDS-630, in the amount of \$48,722.46, on the representation that work set forth in the Land Development Agreement to the extent has been completed and;

WHEREAS, said request has been reviewed by the Township Engineer who recommends release of \$48,722.46; NOW, THEREFORE, BE IT RESOLVED by the Board of Supervisors of Montgomery Township that we do hereby authorize release of \$48,722.46; in accordance with the developer's request, and the officers of the Township are authorized to take the necessary action to obtain release of said sum.

BE IT FURTHER RESOLVED that Township records indicate that escrow has been deposited via Letter of Credit with Montgomery Township in total sum of \$1,730,357.61 pursuant to a signed Land Development Agreement and that \$143,522.25 has previously been released from escrow. Therefore, the action of the Board releasing said sum leaves a new balance of \$1,538,112.90 in escrow.

MOTION BY _____
SECOND BY: _____
DATED: _____
RELEASED BY: _____
Department Director

VOTE: _____

| | | |
|--|---|-------------------------------|
| PROJECT NAME: Firefox - Ph 2 (Northern) | TOTAL ENGIN/INSPI/LEGAL (CASH ESCROW): \$ 45,000.00 | MONTGOMERY TOWNSHIP |
| DEVELOPER: Crystal Road Enterprises, LLC | TOTAL ADMINISTRATION (CASH ESCROW): \$ 5,000.00 | TOWNSHIP NO: LDS-630 |
| ESCROW AGENT: Unvest | | G&A PROJECT NO: 2012-09009-03 |
| TYPE OF SECURITY: Letter of Credit | MAINTENANCE BOND AMOUNT (15%): \$ 235,957.86 | AGREEMENT DATE: 8-Jun-2017 |

| SUMMARY OF IMPROVEMENT ESCROW ACCOUNT | TOTAL COST | RELEASE REQUESTS | | | BALANCE |
|---------------------------------------|------------------------|---------------------|----------------------|----------------------|-----------------------|
| | | CURRENT | PRIOR | TOTAL | |
| CONSTRUCTION | \$1,573,052.37 | \$ 48,722.46 | \$ 143,522.25 | \$ 192,244.71 | \$1,380,807.66 |
| CONTINGENCY (10%) | \$ 157,305.24 | \$ - | \$ - | \$ - | \$ 157,305.24 |
| TOTAL | \$ 1,730,357.61 | \$ 48,722.46 | \$ 143,522.25 | \$ 192,244.71 | \$1,538,112.90 |

| CONSTRUCTION ITEMS | UNIT | QUANTITY | UNIT COST | TOTAL COST | CURRENT REQUEST | | PRIOR REQUESTS | | TOTAL REQUESTS (incl. current release) | | AVAILABLE FOR RELEASE (incl. current release) | |
|--|------|----------|---------------|---------------|-----------------|--------------|----------------|--------------|--|--------------|---|---------------|
| | | | | | QTY | COST | QTY | COST | QTY | COST | QTY | COST |
| PHASE II (NORTHERN VILLAGE) | | | | | | | | | | | | |
| 2.A. MOBILIZATION | LS | 1 | \$ 46,672.15 | \$ 46,672.15 | 0.15 | \$ 7,000.82 | 0.25 | \$ 11,668.04 | 0.40 | \$ 18,668.86 | 0.60 | \$ 28,003.29 |
| 2.B. EARTHWORK | | | | | | | | | | | | |
| 1. Clearing & Grubbing | LS | 1 | \$ 49,706.00 | \$ 49,706.00 | \$ - | \$ - | 1.00 | \$ 49,706.00 | 1.00 | \$ 49,706.00 | \$ - | \$ - |
| 2. Strip Topsoil | CY | 8,228 | \$ 2.47 | \$ 20,323.16 | \$ - | \$ - | 8,228.00 | \$ 20,323.16 | 8,228.00 | \$ 20,323.16 | \$ - | \$ - |
| 3. Cut Fill & Compact | CY | 12,998 | \$ 2.50 | \$ 32,495.00 | 6,500.00 | \$ 16,250.00 | \$ - | \$ - | 6,500.00 | \$ 16,250.00 | 6,498.00 | \$ 16,245.00 |
| 4. Grade | SY | 26,957 | \$ 0.28 | \$ 7,547.96 | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | 26,957.00 | \$ 7,547.96 |
| 5. Cut from Stockpile from Phase I | CY | 7,648 | \$ 2.50 | \$ 19,120.00 | 7,648.00 | \$ 19,120.00 | \$ - | \$ - | 7,648.00 | \$ 19,120.00 | \$ - | \$ - |
| 2.C. RETAINING WALL | | | | | | | | | | | | |
| 1. Excavate Retaining Wall | LF | 565 | \$ 6.40 | \$ 3,616.00 | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | 565.00 | \$ 3,616.00 |
| 2. Retaining Wall | SF | 3,600 | \$ 40.00 | \$ 144,000.00 | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | 3,600.00 | \$ 144,000.00 |
| 3. Sleeves for Guide Rail behind Wall #3 | LS | 1 | \$ 5,300.00 | \$ 5,300.00 | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | 1.00 | \$ 5,300.00 |
| 2.D. EROSION CONTROL | | | | | | | | | | | | |
| <i>Erosion & Sediment Controls</i> | | | | | | | | | | | | |
| 1. Construction Entrance | EA | 1 | \$ 3,392.00 | \$ 3,392.00 | \$ - | \$ - | 1.00 | \$ 3,392.00 | 1.00 | \$ 3,392.00 | \$ - | \$ - |
| 2. 20" Weighted Sediment Tube | LF | 112 | \$ 23.98 | \$ 2,685.76 | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | 112.00 | \$ 2,685.76 |
| 3. 18" Silt Fence - Stockpiles | LF | 1,062 | \$ 1.58 | \$ 1,656.72 | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | 1,062.00 | \$ 1,656.72 |
| 4. 30" Silt Fence | LF | 369 | \$ 1.91 | \$ 704.79 | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | 369.00 | \$ 704.79 |
| 5. Super Silt Fence | LF | 1,022 | \$ 6.45 | \$ 6,591.90 | \$ - | \$ - | 1,022.00 | \$ 6,591.90 | 1,022.00 | \$ 6,591.90 | \$ - | \$ - |
| 6. Super Silt Fence w/ Tree Protection Fence | LF | 1,423 | \$ 6.45 | \$ 9,178.35 | \$ - | \$ - | 1,423.00 | \$ 9,178.35 | 1,423.00 | \$ 9,178.35 | \$ - | \$ - |
| 7. Orange Construction Fence | LF | 1,754 | \$ 1.54 | \$ 2,701.16 | \$ - | \$ - | 1,754.00 | \$ 2,701.16 | 1,754.00 | \$ 2,701.16 | \$ - | \$ - |
| 8. Tree Protection Fence-Shown on Grading Plan | LF | 1,892 | \$ 1.54 | \$ 2,913.68 | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | 1,892.00 | \$ 2,913.68 |
| 9. Temporary Seeding - Excess Fill Piles | SY | 19,360 | \$ 0.29 | \$ 5,614.40 | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | 19,360.00 | \$ 5,614.40 |
| 10. Slope Matting (North American Green S-75) | SY | 4,235 | \$ 1.50 | \$ 6,352.50 | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | 4,235.00 | \$ 6,352.50 |
| 11. Grade Swales #D1, D2, D7 3A, D7 3B, D17, D24 2 | SY | 2,685 | \$ 0.55 | \$ 1,476.75 | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | 2,685.00 | \$ 1,476.75 |
| 12. Swale Matting (North American Green S-75) | SY | 2,685 | \$ 1.50 | \$ 4,027.50 | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | 2,685.00 | \$ 4,027.50 |
| 13. Inlet Protection Silt Sack | EA | 8 | \$ 134.00 | \$ 1,072.00 | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | 8.00 | \$ 1,072.00 |
| 14. Clean Water Pump Bypass, Sandbag Cofferdam | LS | 1 | \$ 12,000.00 | \$ 12,000.00 | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | 1.00 | \$ 12,000.00 |
| 2.E. BOX CULVERT | | | | | | | | | | | | |
| 1. Box Culvert (incl. steel casing) | LS | 1 | \$ 151,965.00 | \$ 151,965.00 | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | 1.00 | \$ 151,965.00 |
| 2.F. STORM SEWER | | | | | | | | | | | | |
| 1. 18" RCP | LF | 1,136 | \$ 35.00 | \$ 39,760.00 | \$ - | \$ - | 347.00 | \$ 12,145.00 | 347.00 | \$ 12,145.00 | 789.00 | \$ 27,615.00 |
| 2. 24" RCP | LF | 610 | \$ 45.00 | \$ 27,450.00 | \$ - | \$ - | 57.00 | \$ 2,565.00 | 57.00 | \$ 2,565.00 | 553.00 | \$ 24,885.00 |
| 6. Type M Inlets (#D17, D24 2) | EA | 2 | \$ 2,700.00 | \$ 5,400.00 | \$ - | \$ - | 1.00 | \$ 2,700.00 | 1.00 | \$ 2,700.00 | 1.00 | \$ 2,700.00 |
| 7. Type C Inlets (#B2.2, B2.4, B3.2, C03, C04, D12.1, D12.2) | EA | 16 | \$ 2,700.00 | \$ 43,200.00 | \$ - | \$ - | 6.00 | \$ 16,200.00 | 6.00 | \$ 16,200.00 | 10.00 | \$ 27,000.00 |
| 8. Type C Inlet Mod. 42"x48" (#B2.3, D13, D14.1, D16) | EA | 4 | \$ 3,400.00 | \$ 13,600.00 | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | 4.00 | \$ 13,600.00 |
| 9. Type C Inlet Mod. 48" x 54" (#D24) | EA | 1 | \$ 3,600.00 | \$ 3,600.00 | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | 1.00 | \$ 3,600.00 |
| 10. Storm Manhole 48" x 48" (#D12) | EA | 1 | \$ 3,400.00 | \$ 3,400.00 | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | 1.00 | \$ 3,400.00 |
| 13. Infiltration Areas D1, D2 & D3 - Convert temp swales D17 & | LS | 1 | \$ 69,287.00 | \$ 69,287.00 | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | 1.00 | \$ 69,287.00 |

| | | |
|--|--|--------------------------------|
| PROJECT NAME: Firefox - Ph. 2 (Northern) | TOTAL ENGINEERING/LEGAL (CASH ESCROW) \$ 45,000.00 | MONTGOMERY TOWNSHIP |
| DEVELOPER: Crystal Road Enterprises, LLC | TOTAL ADMINISTRATION (CASH ESCROW) \$ 5,000.00 | TOWNSHIP NO.: LDS-630 |
| ESCROW AGENT: Uninvest | | G&A PROJECT NO.: 2012-09009-03 |
| TYPE OF SECURITY: Letter of Credit | MAINTENANCE BOND AMOUNT (15%) \$ 235,957.86 | AGREEMENT DATE: 8-Jun-2017 |

| SUMMARY OF IMPROVEMENT ESCROW ACCOUNT | TOTAL COST | RELEASE REQUESTS | | | BALANCE |
|---------------------------------------|------------------------|---------------------|----------------------|----------------------|-----------------------|
| | | CURRENT | PRIOR | TOTAL | |
| CONSTRUCTION | \$1,573,052.37 | \$ 48,722.46 | \$ 143,522.25 | \$ 192,244.71 | \$1,380,807.66 |
| CONTINGENCY (10%) | \$ 157,305.24 | \$ - | \$ - | \$ - | \$ 157,305.24 |
| TOTAL | \$ 1,730,357.61 | \$ 48,722.46 | \$ 143,522.25 | \$ 192,244.71 | \$1,538,112.90 |

| CONSTRUCTION ITEMS | UNIT | QUANTITY | UNIT COST | TOTAL COST | CURRENT REQUEST | | PRIOR REQUESTS | | TOTAL REQUESTS (incl. current release) | | AVAILABLE FOR RELEASE (incl. current release) | |
|---|------|----------|--------------|---------------|-----------------|------|----------------|------|--|------|---|---------------|
| | | | | | QTY | COST | QTY | COST | QTY | COST | QTY | COST |
| 2.G. ROADWAY SITE | | | | | | | | | | | | |
| 1. Excavate & Backfill, Curb | LF | 3,931 | \$ 3.19 | \$ 12,539.89 | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | 3,931 | \$ 12,539.89 |
| 2. Belgian Block Curb | LF | 3,931 | \$ 14.00 | \$ 55,034.00 | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | 3,931 | \$ 55,034.00 |
| 3. Fine Grade and Compact Subgrade | SY | 6,129 | \$ 1.12 | \$ 6,864.48 | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | 6,129 | \$ 6,864.48 |
| 4. 3' 2a Modified | SY | 6,129 | \$ 3.01 | \$ 18,448.29 | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | 6,129 | \$ 18,448.29 |
| 5. 5' (25MM) Base Course | SY | 6,129 | \$ 19.00 | \$ 116,451.00 | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | 6,129 | \$ 116,451.00 |
| 6. 1.5" (9.5MM) Wearing Paving | SY | 6,129 | \$ 7.12 | \$ 43,638.48 | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | 6,129 | \$ 43,638.48 |
| 7. Speed Bump | LS | 1 | \$ 1,200.00 | \$ 1,200.00 | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | 1 | \$ 1,200.00 |
| 8. Street Sweeping | SY | 6,129 | \$ 0.12 | \$ 735.48 | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | 6,129 | \$ 735.48 |
| 9. Tack Coat | SY | 6,129 | \$ 0.19 | \$ 1,164.51 | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | 6,129 | \$ 1,164.51 |
| 10. Curb & Joint Seal | LF | 3,931 | \$ 0.63 | \$ 2,476.53 | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | 3,931 | \$ 2,476.53 |
| 11. Line Painting | LS | 1 | \$ 1,537.00 | \$ 1,537.00 | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | 1 | \$ 1,537.00 |
| 12. Site Signage | LS | 1 | \$ 2,307.00 | \$ 2,307.00 | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | 1 | \$ 2,307.00 |
| 13. Type 2S Guide Rail (Includes 1 Terminal Section) | LF | 413 | \$ 20.71 | \$ 8,542.88 | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | 413 | \$ 8,542.88 |
| 14. Type 2S Guide Rail - Over Culvert | LF | 38 | \$ 164.00 | \$ 6,150.00 | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | 37.50 | \$ 6,150.00 |
| <i>Driveway Relocation (NPWA)</i> | | | | | | | | | | | | |
| 15. Fine Grade and Compact Subgrade | SY | 178 | \$ 1.12 | \$ 199.36 | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | 178 | \$ 199.36 |
| 16. 3' 2a Modified | SY | 178 | \$ 3.01 | \$ 535.78 | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | 178 | \$ 535.78 |
| 17. 5' (25MM) Base Course | SY | 178 | \$ 19.00 | \$ 3,382.00 | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | 178 | \$ 3,382.00 |
| 18. 1.5" (9.5MM) Wearing Paving | SY | 178 | \$ 7.12 | \$ 1,267.36 | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | 178 | \$ 1,267.36 |
| 2.H. ONSITE SIDEWALKS | | | | | | | | | | | | |
| 1. Sidewalk (4") | SF | 11,158 | \$ 8.00 | \$ 89,264.00 | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | 11,158 | \$ 89,264.00 |
| 2. Driveway Apron (6" w/ wire mesh) | EA | 58 | \$ 1,100.00 | \$ 63,800.00 | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | 58 | \$ 63,800.00 |
| 3. Handicap Ramps (incl. DWS) | EA | 8 | \$ 500.00 | \$ 4,000.00 | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | 8 | \$ 4,000.00 |
| 2.I. BITUMINOUS PATHWAYS | | | | | | | | | | | | |
| | SY | 2,094 | \$ 35.00 | \$ 73,290.00 | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | 2,094 | \$ 73,290.00 |
| 2.J. SWALE CONVERSION | | | | | | | | | | | | |
| 1. Convert temp swales D17 & D24 to trenches #1, 2, and 3 | LS | 1 | \$ 69,287.00 | \$ 69,287.00 | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | 1 | \$ 69,287.00 |
| 2.K. STREET LIGHTS | | | | | | | | | | | | |
| 1. Street Lights | EA | 8 | \$ 2,700.00 | \$ 21,600.00 | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | 8 | \$ 21,600.00 |
| 2.L. RESPREAD TOPSOIL (pads: 2"; landscaped areas: 8") | | | | | | | | | | | | |
| | LS | 1 | \$ 16,877.00 | \$ 16,877.00 | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | 1 | \$ 16,877.00 |
| 2.M. PEDESTRIAN BRIDGE (Parallel to Crystal Road) | | | | | | | | | | | | |
| | LS | 1 | \$ 31,476.00 | \$ 31,476.00 | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | 1 | \$ 31,476.00 |



ESCROW RELEASE NO. 2

DATE PREPARED 22-May-2018

| | | |
|--|---|--------------------------------|
| PROJECT NAME: Firefox - Ph 2 (Northern) | TOTAL ENG/INSP/LEGAL (CASH ESCROW) \$ 45,000.00 | MONTGOMERY TOWNSHIP |
| DEVELOPER: Crystal Road Enterprises, LLC | TOTAL ADMINISTRATION (CASH ESCROW) \$ 5,000.00 | TOWNSHIP NO.: LDS-630 |
| ESCROW AGENT: Uninvest | | G&A PROJECT NO.: 2012-09009-03 |
| TYPE OF SECURITY: Letter of Credit | MAINTENANCE BOND AMOUNT (15%) \$ 235,957.86 | AGREEMENT DATE: 8-Jun-2017 |

| SUMMARY OF IMPROVEMENT ESCROW ACCOUNT | TOTAL COST | RELEASE REQUESTS | | | BALANCE |
|---------------------------------------|------------------------|---------------------|----------------------|----------------------|-----------------------|
| | | CURRENT | PRIOR | TOTAL | |
| CONSTRUCTION | \$1,573,052.37 | \$ 48,722.46 | \$ 143,522.25 | \$ 192,244.71 | \$1,380,807.66 |
| CONTINGENCY (10%) | \$ 157,305.24 | \$ - | \$ - | \$ - | \$ 157,305.24 |
| TOTAL | \$ 1,730,357.61 | \$ 48,722.46 | \$ 143,522.25 | \$ 192,244.71 | \$1,538,112.90 |

| CONSTRUCTION ITEMS | UNIT | QUANTITY | UNIT COST | TOTAL COST | CURRENT REQUEST | | PRIOR REQUESTS | | TOTAL REQUESTS (incl. current release) | | AVAILABLE FOR RELEASE (incl. current release) | | |
|---|----------------------------------|----------|-----------|---------------|-----------------|------|----------------|------|--|------|---|--------------|---------------|
| | | | | | QTY | COST | QTY | COST | QTY | COST | QTY | COST | |
| 2.N. LANDSCAPING | | | | | | | | | | | | | |
| <i>Shade Trees</i> | | | | | | | | | | | | | |
| 8 | Acer rubrum | EA | 37 | \$ 350.00 | \$ 12,950.00 | | | | | | 37 | \$ 12,950.00 | |
| 1 | Acer saccharum | EA | 6 | \$ 350.00 | \$ 2,100.00 | | | | | | 6 | \$ 2,100.00 | |
| 2 | Betula nigra | EA | 10 | \$ 350.00 | \$ 3,500.00 | | | | | | 10 | \$ 3,500.00 | |
| 9 | Ginkgo biloba sentry | EA | 3 | \$ 355.00 | \$ 1,065.00 | | | | | | 3 | \$ 1,065.00 | |
| 3 | Gleditsia T. Shadomaster | EA | 30 | \$ 350.00 | \$ 10,500.00 | | | | | | 30 | \$ 10,500.00 | |
| 4 | Liquidambar styraciflua | EA | 26 | \$ 350.00 | \$ 9,100.00 | | | | | | 26 | \$ 9,100.00 | |
| 5 | Liriodendron tulipifera | EA | 28 | \$ 350.00 | \$ 9,800.00 | | | | | | 28 | \$ 9,800.00 | |
| 10 | Pyrus C. Chanticleer | EA | 22 | \$ 350.00 | \$ 7,700.00 | | | | | | 22 | \$ 7,700.00 | |
| 6 | Quercus borealis | EA | 14 | \$ 360.00 | \$ 5,040.00 | | | | | | 14 | \$ 5,040.00 | |
| 11 | Tilia cordata | EA | 25 | \$ 350.00 | \$ 8,750.00 | | | | | | 25 | \$ 8,750.00 | |
| 7 | Zelkova serrata | EA | 19 | \$ 355.00 | \$ 6,745.00 | | | | | | 19 | \$ 6,745.00 | |
| <i>Evergreen Trees</i> | | | | | | | | | | | | | |
| 15 | Juniperus virginiana | EA | 31 | \$ 250.00 | \$ 7,750.00 | | | | | | 31 | \$ 7,750.00 | |
| 14 | Picea abies | EA | 29 | \$ 250.00 | \$ 7,250.00 | | | | | | 29 | \$ 7,250.00 | |
| 12 | Pinus strobus | EA | 32 | \$ 250.00 | \$ 8,000.00 | | | | | | 32 | \$ 8,000.00 | |
| 13 | Pseudotsuga menziesii | EA | 29 | \$ 250.00 | \$ 7,250.00 | | | | | | 29 | \$ 7,250.00 | |
| <i>Shrubs</i> | | | | | | | | | | | | | |
| 19 | Chamaecyparis F. Aurea | EA | 1 | \$ 55.00 | \$ 55.00 | | | | | | 1 | \$ 55.00 | |
| 17 | Cornus amomum | EA | 14 | \$ 65.00 | \$ 910.00 | | | | | | 14 | \$ 910.00 | |
| 16 | Euonymus A. Compacta | EA | 4 | \$ 65.00 | \$ 260.00 | | | | | | 4 | \$ 260.00 | |
| 20 | Ilex crenata helzr | EA | 2 | \$ 65.00 | \$ 130.00 | | | | | | 2 | \$ 130.00 | |
| 21 | Thuja O. Emerald Green | EA | 2 | \$ 80.00 | \$ 160.00 | | | | | | 2 | \$ 160.00 | |
| 18 | Virburnum Plicatum | EA | 14 | \$ 65.00 | \$ 910.00 | | | | | | 14 | \$ 910.00 | |
| 2.O. RESPREAD TOPSOIL (8") | | | | | | | | | | | | | |
| | | LS | 1 | \$ 30,000.00 | \$ 30,000.00 | | | | | | 1 | \$ 30,000.00 | |
| 2.P. OTHER | | | | | | | | | | | | | |
| 1 | Construction Stakeout | LS | 1 | \$ 25,406.55 | \$ 25,406.55 | 0.25 | \$ 6,351.64 | 0.25 | \$ 6,351.64 | 0.50 | \$ 12,703.28 | 0.50 | \$ 12,703.27 |
| 2 | Pins and Monuments and As-Builts | LS | 1 | \$ 8,843.00 | \$ 8,843.00 | | | | | | | 1 | \$ 8,843.00 |
| I CONTINGENCY | | | | | | | | | | | | | |
| 1 | 10% Contingency | LS | 1 | \$ 157,305.24 | \$ 157,305.24 | | | | | | | 1 | \$ 157,305.24 |
| (Released upon certification of completion and receipt of Maintenance Bond) | | | | | | | | | | | | | |

NOTES:

- 2014-09-24 Initial construction cost issued for Phase I Land Development Agreement
- 2016-08-04 Phase II costs updated prior to recording of Phase II Land Development Agreement Net change to construction cost = \$0.00
- 2018-04-04 Phase I and Phase II spreadsheets seperated for release purposes
- 2018-04-04 Engineering/Legal & Administration cash escrow amounts based upon Phases I and II

MONTGOMERY TOWNSHIP BOARD OF SUPERVISORS
BOARD ACTION SUMMARY

SUBJECT: Consider Waiver of Permit Fee for Special Event – Mary, Mother of the Redeemer Catholic Church – Parish Festival

MEETING DATE: May 29, 2018 ITEM NUMBER: #12.

MEETING/AGENDA: ACTION XX NONE

REASON FOR CONSIDERATION: Operational: Policy: Discussion: xx Information:

INITIATED BY: Bruce Shoupe Director of Planning and Zoning  BOARD LIAISON: Candyce Fluehr Chimera Chairman

BACKGROUND:

In the past, it has been the policy of the Board of Supervisors to waive permit fees for non-profit and religious organizations. The Township has received a request from Mary, Mother of the Redeemer Catholic Church to waive all permit fees (special event, signs, electrical) associated with their annual Parish Festival to be held from June 19, 2018 through June 23, 2018.

ZONING, SUBDIVISION OR LAND DEVELOPMENT IMPACT: None.

PREVIOUS BOARD ACTION: None.

ALTERNATIVES/OPTIONS:

None.

BUDGET IMPACT:

None.

RECOMMENDATION:

Consistent with Township policy on permit fees, it is recommended that the Board approve the waiver of the building permit fees for Mary, Mother of the Redeemer Catholic Church Parish Festival.

MOTION/RESOLUTION:

Resolution is attached.

MOTION: _____ SECOND: _____

ROLL CALL:

| | | | | |
|------------------------|-----|---------|---------|--------|
| Tanya C. Bamford | Aye | Opposed | Abstain | Absent |
| Michael J. Fox | Aye | Opposed | Abstain | Absent |
| Jeffrey W. McDonnell | Aye | Opposed | Abstain | Absent |
| Matthew W. Quigg | Aye | Opposed | Abstain | Absent |
| Candyce Fluehr Chimera | Aye | Opposed | Abstain | Absent |

DISTRIBUTION: Board of Supervisors, Frank R. Bartle, Esq.

Resolution #

BE IT RESOLVED by the Board of Supervisors of Montgomery Township that we hereby approve the request of Mary, Mother of the Redeemer Catholic Church to waive all permit fees (special event, signs, electrical) associated with their annual parish festival to be held from June 19, 2018 through June 23, 2018.

The applicant has applied for permits as follows:

- Temporary Signs (2 pairs) on Church property along Upper State Road
- Temporary Road Signs (15) in various locations around the Township
- Construction Permit for electrical work

MOTION BY:

SECOND BY:

VOTE:

DATE:

xc: Applicant, F. Bartle, B. Shoupe, Minute Book, Resolution File, File



Mary, Mother of the Redeemer

— CATHOLIC CHURCH —

May 15, 2018

Montgomery Township Board of Supervisors

Chair Candyce Fluehr Chimera

1001 Stump Road

Montgomeryville, PA 18936-9605

Dear Chair Chimera:

Mary, Mother of the Redeemer Parish is planning to hold its 25th Annual Summer Festival from June 19th through June 23rd. Permit applications have been filed with the Department of Planning and Zoning for:

- Temporary Sign/Special Event on our property along Upper State Road, and
- Construction Work Application for General Electrical Work.

The purpose of this letter is to request waiver of the fees associated with these permit applications. Please forward approval of the fee waiver by the Board of Supervisors to the Department of Planning and Zoning for their processing of these permits in a timely manner.

Along with this permit application process, we would like this letter to serve as event notifications for the Chief of Police, J. Scott Bendig, and the Chief Fire Marshal, Richard Lesniak.

As always, we appreciate your kind support for this popular event for our Parish and the Community at large.

Sincerely,

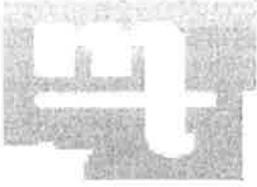
Armando E. Moral

Summer Festival Chairman

In 2018 we celebrate our 25th Annual MMR Summer Festival!



CC: J. Scott Bendig, Chief of Police, Richard Lesniak, Chief Fire Marshal



RECEIVED

MAY 15 2018

MONTGOMERY TOWNSHIP

MONTGOMERY TOWNSHIP
DEPARTMENT OF PLANNING AND ZONING
1001 STUMP ROAD, MONTGOMERYVILLE, PA 18936-9605
Telephone: 215-393-6920 · Fax: 215-855-1498

Permit # _____ Blk/Unit # _____ Fee \$ _____ Ck # _____ Date _____

TEMPORARY SIGN
SPECIAL EVENT - OUTDOOR SALES APPLICATION

A temporary event which may significantly impact public or private property, extend beyond the normal use or standards allowed by the zoning ordinance and exceeds normal vehicular and pedestrian traffic, may require the need for services of the Township's Police and Fire Departments. Such events include, but not limited to entertainment, amusement, cultural recognition, sporting events, arts & crafts or trade shows, sidewalk sales, special seasonal events, special automobile sales/shows, fund raising events and grand openings. Activities may not inhibit or block safe access by emergency responders or adversely impact access and parking required to serve the facility. Company picnics are exempt; unless a temporary structure is erected, which may require a building permit. At the Regional Shopping Center, indoor special events require a permit but are not limited by the number of events per year. Temporary indoor retail sales at the Regional Shopping Center require a separate permit.

Temporary sign permits shall be limited to no more than fourteen (14) permits per calendar year. A temporary sign permit is limited to maximum of 7-days per permit. Each sign is considered a separate permit. Permits are non-transferable. Only one (1) ground sign permitted per street frontage, a maximum size of 32 square feet, set back 15' from the curb line and shall not obstruct view of traffic. Permits for special events or outdoor sales shall be limited to no more than six (6) times per calendar year

Activities, such as hot air ballooning, skydiving events, hang gliding, bungee jumping, etc. as well as carnivals, circuses, festivals, fairs are not permitted unless the Zoning Hearing Board approves as a special exception. Fireworks displays (unless sponsored by the Township) are prohibited.

Application(s) MUST be submitted a minimum of two (2) weeks in advance of the event. All vendors or merchants must obtain a Temporary retail sales permit prior to issuance of permit, unless vendor is already registered with the Township.

Form with fields: SITE ADDRESS (1325 Upper State Road, North Wales, PA 19454), PROPERTY OWNER (Mary, Mother of the Redeemer Church), ADDRESS (1325 Upper State Road), PHONE (215-362-7400), FAX, APPLICANT (Armando E. Moral, Festival Chairman), ADDRESS (1325 Upper State Road, North Wales, PA 19454), PHONE (215-362-7400), Describe Special Event (Annual Summer Festival), Number of People.

Form with fields: Start Date (June 19, 2018), End Date (June 23, 2018), TYPE OF APPLICATION (Temporary Sign, Special Event-Outdoor/Sidewalk Sales \$ 50.00, Special Event w/ tent \$ 100.00), TEMPORARY SIGN PERMIT (Temp Sign to 32 SF - 7 per days - ground only \$ 20.00, Temp Sign to 48 SF - 7 per days - building \$ 25.00, Temp Sign to 60 SF - 7 per days - building \$ 30.00, Temp Sign to 90 SF - 7 per days - building \$ 40.00, Temp Sign p to 120 SF - 7 per days - building \$ 50.00, Each additional 7-days - 50% fee at initial issuance), TOTAL FEE.

TEMP. SIGN - SPECIAL EVENTS

REQUIREMENTS

The following requirements must be met prior to the issuance of a Special Event or Indoor/Outdoor Sales Permit. Upon compliance a permit may be issued.

- 1) A site plan clearly outlining the property and the proposed area where event or sales shall occur must be submitted.
- 2) A Temporary Business License shall be obtained for all sales if business is not already registered in the Township.
- 3) Building or Electrical Permits shall be obtained if lighting, temporary construction or sanitary facilities are proposed.
- 4) Staff must approve all signs prior to the issuance of the permit. One (1) temporary sign on the ground (**32 square feet maximum size**) as listed in the Application Type section above shall be allowed per street frontage.
- 5) Liability insurance is required for events that are held on Township owned property. A copy of the insurance certificate must be submitted with the application **naming Montgomery Township as an "Additional Insured"**.
- 6) For applications that include amplified music, the applicant must submit supplemental information regarding noise attenuation measures. No music shall be permitted between the hours of 10:00 p.m. and 7:00 a.m.
- 7) If the event includes a tent or temporary structure, a building permit may be required prior to issuance of the Special Events/Outdoor Sales permit.
- 8) If food or beverages are included in the event provisions for appropriate recycling/trash containers must be provided. Montgomery County Health Department approval may also be required. **The serving or consumption of alcohol is Prohibited.**

SUPPLEMENTAL QUESTIONS

Please answer the following questions. If more space is needed, please attach additional pages.

- 1) Are there any crowd issues requiring **Police and/or Fire Services**? YES NO
- 2) Will alcohol be provided at the event? YES NO
- 3) Will tents or structures be erected for the event? YES NO How many 16 Size 200 s.f.
- 4) **Permit cannot be issued until temporary business license(s) is obtained.** Have license(s) **been obtained** for all vendors or merchants not already registered with Township. YES NO

I hereby certify that the information stated on forms, plans, and other materials submitted herewith, in support of the application, is true and correct to the best of my knowledge. It is my responsibility to inform Montgomery Township of any changes to information represented in these submittals.

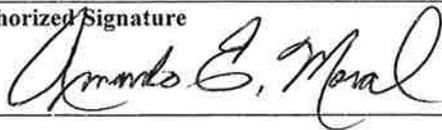
Applicant _____

Signature

Date

5/15/2018

Property Owner's Authorized Signature



Events held at Montgomery Mall requires Manager's or Authorized Signature

The Township Board of Supervisors may at any time revoke and annul this permit for non-performance of, or non-compliance with any of the conditions, restrictions and regulations hereof.

Approved: _____

Zoning

Date

Building

Date

TEMP. SIGN - SPECIAL EVENTS



RECEIVED

MAY 15 2018

MONTGOMERY TOWNSHIP

MONTGOMERY TOWNSHIP
DEPARTMENT OF PLANNING AND ZONING
1001 STUMP ROAD, MONTGOMERYVILLE, PA 18936-9605
Telephone: 215-393-6920 · Fax: 215-855-1498
www.montgomerytwp.org

CONSTRUCTION WORK APPLICATION

SUBMIT MINIMUM (2) SETS OF PLANS AND CONSTRUCTION DOCUMENTS FOR ALL COMMERCIAL AND NEW RESIDENTIAL PLANS; ALSO, SUBMIT THE PLANS ON A CD (IN PDF FORMAT IDENTIFYING EACH PAGE), INCLUDING SPRINKLER AND FIRE ALARM SYSTEM DESIGN. A SCANNING FEE OF \$25 MIN or \$10 + \$1/PAGE OF PLAN SET SHALL BE ASSESSED IF A CD IS NOT SUBMITTED WITH APPLICATION.

Is Owner Applicant?

Yes

No

Permit # _____ Fee \$ _____ Ck # _____ Date _____

PERMIT TYPE: Building X Electrical/Alarm _____ Plumbing _____ HVAC/Mechanical/Sprinkler _____ Other _____

Description: Construction of temporary structures for annual Summer Festival

PROPERTY INFORMATION (Site address where work is to be performed)

Street Address 1325 Upper State Road City/State/Zip North Wales, PA 19454
Tenant / Business Name (Non-Residential Only) Mary, Mother of the Redeemer Church

PROPERTY OWNER INFORMATION

Name Mary, Mother of the Redeemer Church ARMANDO MORAL Daytime Phone # 215-362-7400
Email Address festival@mmredeemer.org (CHAIRMAN) Cell Phone # 215-906-4990
Street Address 1325 Upper State Road City/State/Zip North Wales, PA 19454

CONTRACTOR INFORMATION (ALL CONTRACTORS MUST BE PROPERLY REGISTERED BEFORE PERMIT IS ISSUED)

Table with 5 columns: CONTRACTOR, TWP REG NUMBER, NAME, ADDRESS, DAYTIME PHONE #, Estimated VALUE \$. Rows include GENERAL, ELECTRICAL, ALARM, PLUMBING, HVAC/MECH, SPRINKLER, ROOFING, FOUNDATION, CARPENTERS, OTHER.

COMPLETE FOR NEW CONSTRUCTION ONLY

Table with 4 columns: NO., Description, SQ. FT. OF. Rows include Stories, Bedrooms, Full Baths, Partial Baths, Garage (bays), Height Above Grade, Fireplaces (Custom), Fireplace (Factory), TOTAL CONTRACT VALUE \$, TOTAL SQ. FT.

BUILDING PERMIT

PROPOSED GENERAL CONSTRUCTION WORK

| | | |
|--|--|---|
| <input type="checkbox"/> ADDITION | <input type="checkbox"/> GENERATOR | <input type="checkbox"/> ROOF OVER FRONT PORCH |
| <input type="checkbox"/> BASEMENT RENOVATION (Bedroom requires 2 nd means of egress) | <input type="checkbox"/> SHED | |
| <input type="checkbox"/> BATHROOM RENOVATION | <input type="checkbox"/> INTERIOR ALTERATION | <input type="checkbox"/> SOLAR |
| <input type="checkbox"/> DECK | <input type="checkbox"/> KITCHEN RENOVATION | <input type="checkbox"/> SUNROOM / ENCLOSED REAR PORCH |
| <input type="checkbox"/> DECK WITH ROOF | <input type="checkbox"/> NEW CONSTRUCTION | <input type="checkbox"/> TENANT FIT-OUT |
| <input type="checkbox"/> FENCE | <input type="checkbox"/> PATIO | <input type="checkbox"/> WALKWAY |
| <input type="checkbox"/> FENCE CROSSING EASEMENT | <input type="checkbox"/> PATIO WITH ROOF | <input type="checkbox"/> OTHER |
| NOTE: Manual J Heat Load Calculations - required for all new construction or new living space if using existing heat system | | |
| FRAMING: _____ Steel _____ Masonry _____ Concrete _____ Wood _____ Other _____ | | |
| DETAILED DESCRIPTION OF WORK: Install temporary structures for annual Summer Festival | | |
| | | |
| Construction Type: <input type="checkbox"/> NonResidential <input type="checkbox"/> Residential | | CONTRACT VALUE FOR GENERAL CONSTRUCTION (EXCLUDING: ELEC, PLUMB, HVAC/SPR) \$ |
| | | Sq. Ft. of Total Project |

ELECTRICAL (2 PLAN SETS) and/or FIRE / SPRINKLER ALARM (3 PLAN SETS)

| | | |
|---|---|---|
| Non-Residential Plans must be approved by one of our approved Third-Party Inspection Companies (listed below) prior to issuance of permit. | | |
| Total Service <u>200</u> Amps | No. of Circuits <u>40</u> 2-Wire ___ 3-Wire ___ 4-Wire ___ | No. of Services Outlets _____ 110V _____ 220V |
| New Service _____ Amps | Upgrade Service _____ Amps | |
| DESCRIPTION OF WORK: | | |
| | | |
| ELECTRIC NOTE: APPLICANT IS RESPONSIBLE TO CONTRACT WITH A THIRD-PARTY INSPECTOR: | | |
| APPROVED THIRD PARTY ELECTRICAL INSPECTION CO. TO BE USED FOR PROJECT: (check one) | | |
| <input type="checkbox"/> Bureau Veritas North America (former Atiantic Inland) - (877) 392-9445 | <input type="checkbox"/> Code Inspections Inc. - (215) 672-9400 | |
| <input type="checkbox"/> Middle Atlantic Electrical Inspections - (215) 322-2626 | <input type="checkbox"/> Middle Department Inspection Agency - (610) 696-3900 | |
| <input type="checkbox"/> Municipal Inspection Corp - (215) 673-4434 | <input checked="" type="checkbox"/> United Inspection Agency - (215) 542-9977 | |
| TOTAL ELECTRIC CONTRACT VALUE \$ | | |
| TOTAL ALARM CONTRACT VALUE \$ | | |

HVAC / MECHANICAL WORK (2-PLAN SETS) and/or SPRINKLER (3-PLAN SETS)

| | | | |
|--|---|---|--|
| Residential System (check one): <input type="checkbox"/> New <input type="checkbox"/> Replace <input type="checkbox"/> Removal | | Commercial System (check one): <input type="checkbox"/> New <input type="checkbox"/> Replace <input type="checkbox"/> Removal | |
| PROPOSED WORK | | | |
| <input type="checkbox"/> Above ground Tank _____ gallons | <input type="checkbox"/> Coil Unit | <input type="checkbox"/> Sprinkler System - Alteration | |
| <input type="checkbox"/> AC Compressor | <input type="checkbox"/> Electric Furnace | <input type="checkbox"/> Sprinkler System - New | |
| <input type="checkbox"/> Air Cleaner | <input type="checkbox"/> Exhaust Hood | <input type="checkbox"/> Stand Pipe | |
| <input type="checkbox"/> Air Handling | <input type="checkbox"/> Extension of existing supply/return ducts only | <input type="checkbox"/> Stove - Wood/Coal/Pellet | |
| <input type="checkbox"/> Alarm System - Alteration | <input type="checkbox"/> Indoor/Outdoor Fireplace or insert | <input type="checkbox"/> Underground Tank _____ gallons | |
| <input type="checkbox"/> Alarm System - New | <input type="checkbox"/> Forced Air Unit | <input type="checkbox"/> Underground Tank Removal _____ gal | |
| <input type="checkbox"/> Ansul System | <input type="checkbox"/> Gas/Oil Conversion Unit | <input type="checkbox"/> Emergency Generators | |
| <input type="checkbox"/> Boiler | <input type="checkbox"/> Roof Top Unit | <input type="checkbox"/> | |
| DESCRIPTION OF WORK: | | | |
| | | | |
| TOTAL HVAC / MECHANICAL CONTRACT VALUE \$ | | | |
| TOTAL SPRINKLER CONTRACT VALUE \$ | | | |
| #SPRINKLER HEADS: | | | |

BUILDING PERMIT

PLUMBING WORK

ENTER THE NUMBER OF FIXTURES BEING INSTALLED OR REPLACED
PROVIDE RISER DIAGRAM ON BACK OR SEPARATE SHEET

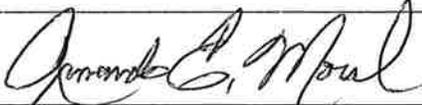
| FIXTURES: | QUANTITIES: | | | | |
|--|--------------------------|---------------------|---------------------|---------------------|--------------------------|
| | Bsmt | 1 st flr | 2 nd flr | 3 rd flr | 4 th OR ABOVE |
| Bath / Tubs / Showers | | | | | |
| Dishwashers | | | | | |
| Drinking fountains | | | | | |
| Ejector pumps | | | | | |
| Floor drains / Floor sinks | | | | | |
| Garbage Disposal / Grease trap / Interceptors | | | | | |
| Irrigation System | | | | | |
| Water heaters (expansion tank required) | | | | | |
| Washing Machine/ Hose Bib | | | | | |
| Sinks / Mop Sinks | | | | | |
| Urinals / Water Closets | | | | | |
| Water Service Line - Interior Water-Sewer Line | | | | | |
| Water Softener | | | | | |
| Other: | | | | | |
| TOTAL PLUMBING CONTRACT VALUE \$ | TOTAL # FIXTURES: | | | | |

BVD METHOD - NEW RESIDENTIAL OR NON-RESIDENTIAL CONSTRUCTION ONLY

| | | | | | | | | | | |
|--|---|-----------|---|----------|---|-------------|---|-----------------------|---|------------|
| Type of Construction | + | Use Group | = | BVD cost | x | Square Feet | x | Permit Fee Multiplier | = | Permit Fee |
| _____ | + | _____ | = | \$ _____ | x | _____ | x | .0075 | = | \$ _____ |
| Fee Excludes - Sprinkler and Alarm systems | | | | | | | | | | |

NOTE: PERMIT SUBMISSION DOES NOT GRANT "APPROVAL" TO START WORK.

I agree to comply with all applicable codes, statutes and ordinances and with the conditions of this permit. I understand that the issuance of the permit creates no legal liability, express or implied, on Montgomery Township; and certify that all the above information is accurate. A permit issued is subject to Section 105.4 of the IRC and the IBC, as amended. Permit expires if work is not started in 6 months, not completed in 12 months, or if work is discontinued for 6 months in the judgment of the Township. The Building Inspector, or the Inspector's authorized agent, is authorized to enter the premises for which this permit is sought at all reasonable hours and for any proper purpose to inspect the proposed work. Failure to comply with the above will result in a STOP WORK order. The Township reserves the right to request a copy of all contracts for work performed.

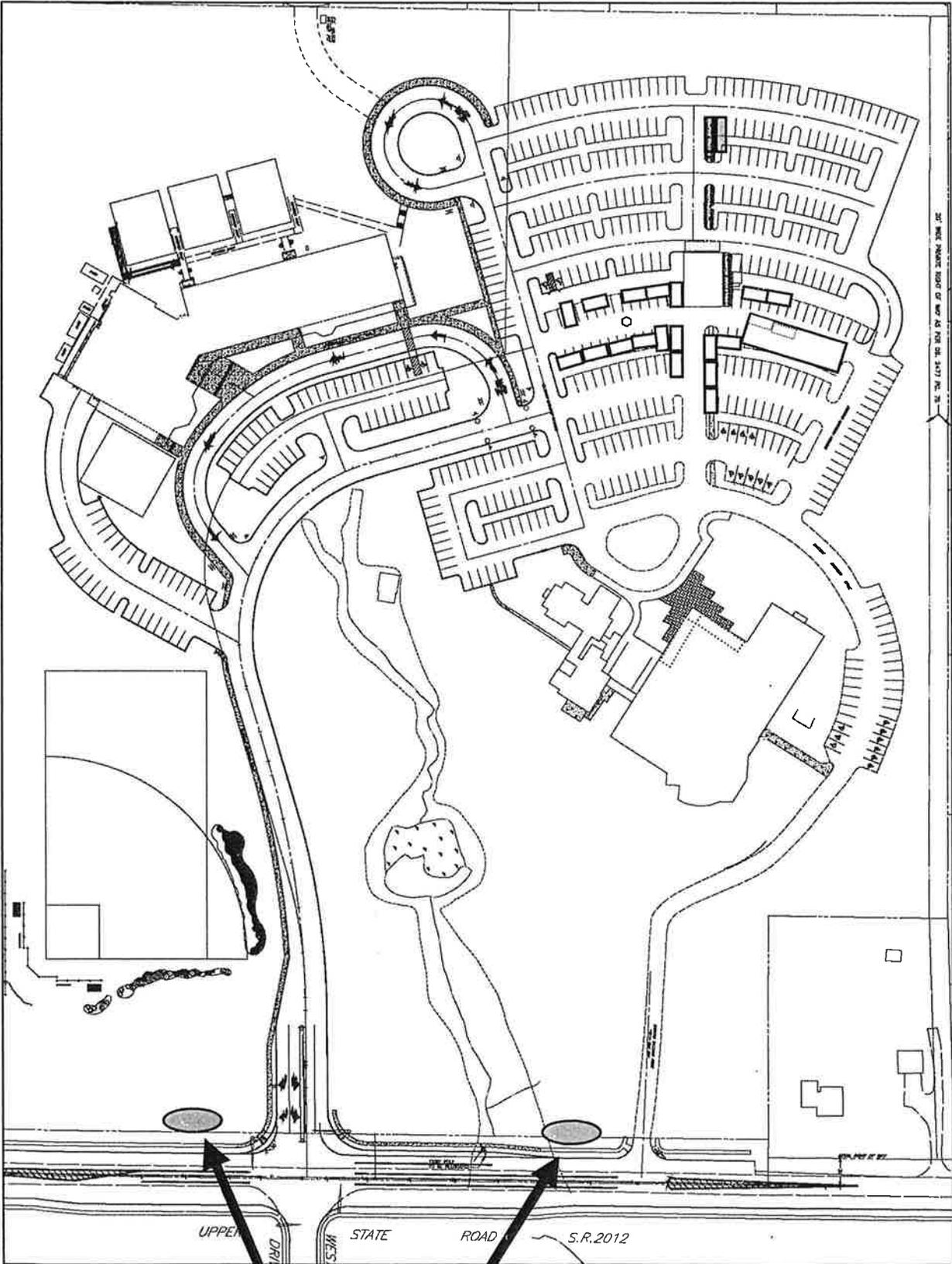
| | | |
|-------------------------------------|---|-------------|
| Owner/Auth. Agent Signature: |  | Date |
| | | 5/15/2018 |

FOR OFFICE USE ONLY:

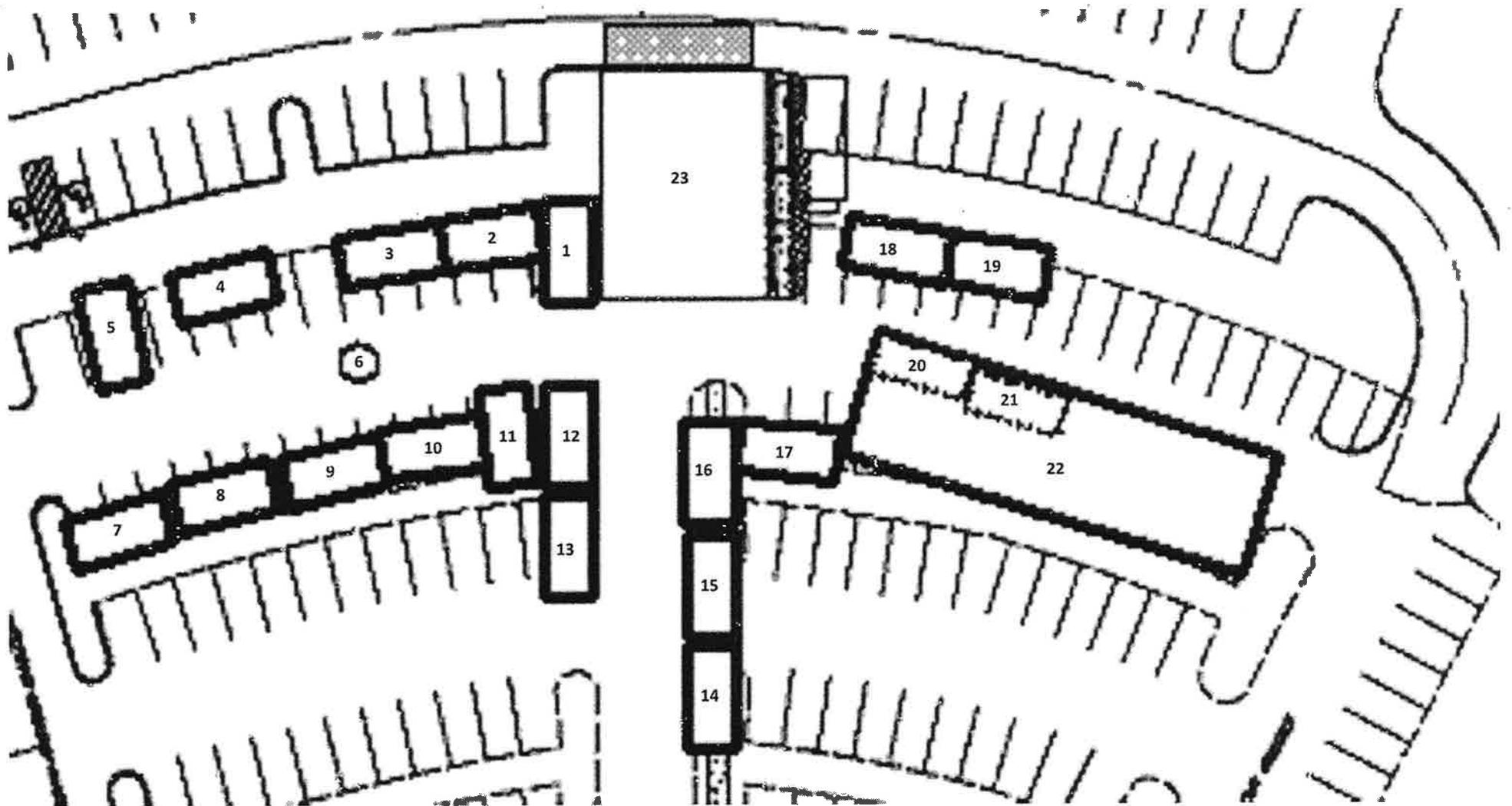
| TYPE | PERMIT FEE | TYPE | PERMIT FEE |
|-----------------------------|------------|--|------------|
| ALARM | | DECK / PATIO - OPEN | |
| BUILDING | | DECK / PATIO -- with ROOF | |
| ELECTRICAL | | FENCE | |
| HVAC / MECHANICAL | | SHED | |
| PLUMBING | | OTHER: | |
| ROOF | | | |
| SPRINKLER | | PA STATE / ACT 13 | \$ 4.00 |
| USE & OCCUPANCY | | SCANNING FEE (\$25 min or 10 + \$1/page of plan set) | |
| ZONING | | STORMWATER MANAGEMENT FEE | |
| | | | |
| CURB ESCROW (IF APPLICABLE) | \$1200.00 | TOTAL PERMIT FEE | |
| CURB ESCROW CHECK# | | CHECK# | |

| | | | |
|---------------------------------|----------------------|------------------------------------|----------------------|
| _____ ZONING OFFICIAL | _____ DATE | _____ BUILDING INSPECTOR | _____ DATE |
|---------------------------------|----------------------|------------------------------------|----------------------|

BUILDING PERMIT



Locations of temporary signs



1-REGISTRATION / SECURITY

5-DUNK TANK

9-KID'S AREA

13-CHANCES / SODA 2

20-SODA1

2-ICE CREAM

6-RING TOSS

10-KID'S AREA

14-17 VENDOR ALLEY

21-BEER / WINE

3-FUNNEL CAKE

7-REMOTE DINING

11-SHOOTING GALLERY

18-WATER ICE

22-MAIN DINING AREA / BANDS

4-DART BALLOONS / FAT CAT

8-BAKE SALE / FACEPAINTING

12-CHANCE BOOTH

19-LEMONADE

23-KITCHEN / BARN

MONTGOMERY TOWNSHIP BOARD OF SUPERVISORS
BOARD ACTION SUMMARY

SUBJECT: Consider Authorization to Execute Penn Dot Sidewalk Maintenance Agreement – 5 Points Intersection Project S.R. 0309, Section 71 A

MEETING DATE: May 29, 2018

ITEM NUMBER: # 13

MEETING/AGENDA:

ACTION XX

NONE

REASON FOR CONSIDERATION: Operational: XX Policy: Discussion:XX Information:

INITIATED BY: Lawrence J. Gregan
Township Manager

BOARD LIAISON: Candyce Fluehr Chimera
Chairman, Board of Supervisors

BACKGROUND:

PennDot's planning and design of upgrades to the intersection of Bethlehem Pike (Rt 309), Doylestown Road, Cowpath Road and Horsham Road, better known as the 5 Points intersection (S.R.0309 section 71A) has been underway since 2006. The date for award of Penn Dot's contract for this project has finally been scheduled for the Fall 2018.

Part of the project will include the installation/replacement of sidewalks at various locations along each of the five approaches to the intersection address pedestrian access and pedestrian safety. These locations have all been reviewed and recommended for inclusion in this project by the Township Police Department and Traffic Engineer.

A condition for including the sidewalk installation/replacement work in the final design and contract award, PennDot requires the Township's concurrence to maintain the sidewalks after installation and final acceptance by the Department. PennDot has provided the attached standardized Sidewalk Maintenance Agreement for this purpose. The Township would need to authorize execution of the Agreement by resolution.

Copies of plans showing the location of the sidewalk being installed/replaced are attached along with a copy of the Maintenance Agreement.

ZONING, SUBDIVISION OR LAND DEVELOPMENT IMPACT:

None

PREVIOUS BOARD ACTION:

The Board had previously adopted resolutions approving the design and accepting maintenance responsibility Traffic Signal System for this project.

ALTERNATIVES/OPTIONS:

None

BUDGET IMPACT:

Per Township Policy and Ordinance, maintenance of sidewalks in the ROW of public streets reverts to the adjacent property owners. The cost for installation/replacement of the sidewalk is covered in the PennDot contract.

RECOMMENDATION:

It is recommended that the Board approve the attached resolution authorizing the Chairman to execute the Sidewalk Maintenance Agreement for S.R.0309 Section 71A 5 Points Intersection Upgrade Project.

MOTION/RESOLUTION:

BE IT RESOLVED by the Board of Supervisors of Montgomery Township that we hereby adopt the resolution authorizing the Chairman to execute the Sidewalk Maintenance Agreement for S.R.0309 Section 71A 5 Points Intersection Project.

MOTION: _____ SECOND: _____

ROLL CALL:

| | | | | |
|------------------------|-----|---------|---------|--------|
| Tanya C. Bamford | Aye | Opposed | Abstain | Absent |
| Michael J. Fox | Aye | Opposed | Abstain | Absent |
| Jeffrey W. McDonnell | Aye | Opposed | Abstain | Absent |
| Matthew W. Quigg | Aye | Opposed | Abstain | Absent |
| Candyce Fluehr Chimera | Aye | Opposed | Abstain | Absent |

DISTRIBUTION: Board of Supervisors, Frank R. Bartle, Esq.

RESOLUTION NO. _____

BE IT RESOLVED by authority of the Board of Supervisors of Montgomery Township, Montgomery County, and it is hereby resolved by authority of the same, that the Chairman of the Board of Supervisors of said MUNICIPALITY be authorized and directed to sign the attached Sidewalk Maintenance Agreement on its behalf.

ATTEST:

MONTGOMERY TOWNSHIP

Lawrence J. Gregan, Manager/Secretary

By: _____
Candyce Fluehr Chimera, Chairman
Board of Supervisors

I, Lawrence J. Gregan, Secretary of Montgomery Township, do hereby certify that the foregoing is a true and correct copy of the Resolution adopted at a regular meeting of the Board of Supervisors, held the 29th day of May, 2018.

DATE: May 29, 2018

Lawrence J. Gregan
Township Manager/Secretary

NOTE: Signature on the signature page of this Agreement must conform with signature on this Resolution.

Discussion



pennsylvania
DEPARTMENT OF TRANSPORTATION

April 26, 2018

CHD/TSS/MCF
Montgomery County- Montgomery Township
S.R. 0309, Section 71A
Sidewalk Maintenance Agreement

Mr. Lawrence J. Gregan
Manager, Montgomery Township
1001 Stump Road
Montgomeryville, PA 18936-9605

Dear Mr. Gregan:

As part of the S.R. 0309, Section 71A project, the Department is installing sidewalks at various locations in Montgomery Township as indicated in the attached agreement.

Before final design and impending installation of sidewalks by the state, we must receive your concurrence to maintain the sidewalks after installation and final acceptance by the Department. In order to proceed in this matter it is necessary that your Municipality complete the enclosed Sidewalk Maintenance Agreement. The Montgomery Township Board of Supervisors must pass a resolution granting signature authority before the enclosed agreement is signed. All signatures must be in ink; stamp signatures are not accepted.

Please note that signatures on the signature page of the Agreement must conform with signatures on the Resolution.

Please return the signed agreement with original copy of the resolution to Madeleine C. Fausto, Project Manager as soon as possible. Please complete the Federal Identification Number on the upper right hand corner of page one of the agreement.

If you have any questions, please contact Madeleine at (610) 205-6848.

Sincerely,


for Kenneth McClain, P.E.
District Executive

Enclosures

Effective Date: _____
(PennDOT will insert)

| | | | |
|----------------------|---|---------------|----------------|
| County(ies): | <u>Montgomery</u> | Agreement #: | <u>0641188</u> |
| Project Short Title: | <u>Five Points Intersection Project</u> | MPMS #: | <u>63493</u> |
| Project (SR & Sec): | <u>SR 309 Section 71A</u> | Federal ID #: | _____ |

SIDEWALK MAINTENANCE AGREEMENT

This Sidewalk Maintenance Agreement (“Agreement”) is made by and between the Commonwealth of Pennsylvania (“Commonwealth”), acting through the Department of Transportation (“PennDOT”)

and

Montgomery Township, of the Commonwealth of Pennsylvania, (“Municipality”).

BACKGROUND

PennDOT is authorized to cooperate with political subdivisions of the Commonwealth in the coordination of plans and policies for the development of ground facilities, and is authorized to enter into all necessary contacts and agreements with political subdivisions of the Commonwealth pursuant to Sections 2002(a)(7) and 2001.1 of the Administrative Code of 1929, as amended, 71 P.S. §§512(a)(7) and 511.1.

PennDOT and the Municipality recognize that new construction must be accessible and usable by persons with disabilities; that alterations to existing facilities, within the scope or limits of a project, must provide usability by persons with disabilities to the maximum extent feasible; that existing facilities that have not been altered must not deny access to persons with disabilities; and, that all alteration type projects such as reconstruction, milling, resurfacing, must assess pedestrian needs and improve or upgrade altered existing facilities to the latest ADA standards.

The parties, intending to be legally bound, agree as follows:

1. **Project Location.** PennDOT shall design and construct a project involving improvements at the locations shown below (“Project”). PennDOT has determined sidewalk is appropriate as part of the Project:

| County | State Route | Beginning Segment/Offset | Ending Segment/Offset |
|------------|-------------|--------------------------|------------------------|
| Montgomery | 0309 | 0330/0291 0331/0306 | 0340/0565 0341/0552 |
| Montgomery | 0463 | 0122/0127 0123/0127 | 0132/0458 0133/0445 |
| Montgomery | 2202 | 0070/0009 0071/0015 | 0074/0038 0078/0038 |
| | | | |
| | | | |

2. **Construction Plan.** PennDOT shall, with its own forces or by contract, install sidewalk in accordance with plans prepared by PennDOT. Such plans and installation shall comply with the Americans with Disabilities Act (“ADA”), as amended, and its related regulations, and in accordance the guidance set forth in PennDOT Publication 13M, Chapter 6, unless it is structurally impracticable to meet the requirements of the ADA and its related regulations, or there are insurmountable site or technical infeasibilities involved in the design or construction of the pedestrian facilities. Where existing such constraints limit the ability to fully meet the latest ADA standards, the improvements or upgrades must be done to provide access to the maximum extent feasible.

3. **Notice of Completion.** Upon completion of the Project by PennDOT or its contractors, PennDOT will send to the Municipality a written notice of completion.

4. **Maintenance.**

- a. **Scope.** All references to sidewalk in this Agreement shall include curb ramps and blended transitions included as part of the Project.

- b. **Municipality to Maintain Sidewalk.** Upon receipt of the written notice of completion the Municipality shall, at its sole cost and expense, provide for year-round maintenance of the sidewalk(s).

- c. **Level of Service.** Sidewalk shall remain in operable working condition. The Municipality shall maintain those features of facilities and equipment required to be readily accessible to and usable by persons with disabilities in accordance with 28 CFR § 35.133. The Municipality shall adopt standards and practices ensuring the Municipality's day-to-day operations to keep the pedestrian path of travel open and usable for all persons, including those with disabilities, throughout the year (including snow and debris removal, and maintenance of accessible pedestrian walkways in work zones).

- d. **Service Interruptions.** While isolated or temporary interruptions in service or access due to maintenance or repairs may be allowed, the Municipality shall ensure reasonable alternative pedestrian access accommodations for long-term disruptions.

- e. **Municipal Sidewalk Ordinances.** The Municipality, by ordinance, may provide its sidewalk maintenance responsibilities under this Agreement shall be performed by adjacent property owners.

- f. ***This provision is only applicable if the following box is checked:*** **Retaining Walls.**

PennDOT shall be responsible for structural maintenance of retaining walls supporting the travelled portion of the state highway available to motor vehicles, and the Municipality shall be responsible for structural maintenance of retaining walls exclusively supporting or whose sole purpose is to support curbing, footways, and sidewalk. The Municipality, to the extent provide for by law, may provide this maintenance responsibility shall be performed by adjacent property owners.

- g. ***This provision is only applicable if the following box is checked:*** **Sidewalks on Bridge.**

PennDOT shall maintain the structural integrity and substructure of the pedestrian facilities to ensure structural integrity of the sidewalk. The Municipality shall remove snow and debris from the sidewalk to ensure the path of travel on pedestrian facilities on the bridge is open

and usable for all persons throughout the year. PennDOT and the Municipality shall also maintain accessible pedestrian walkways on bridges in their respective work zones and correct other disruptions each party may cause to such pedestrian walkways with only isolated or temporary disruptions in accessibility. Reasonable alternative pedestrian access accommodations shall be made for long-term disruptions. The Municipality, by ordinance, may provide its sidewalk maintenance responsibilities under this Agreement be performed by abutting property owners.

5. **Term and Termination.**

- a. **Term.** This Agreement shall continue in full force and effect indefinitely, unless terminated as provided in this Agreement. The effective date of this Agreement shall be the date this Agreement is fully executed by the Municipality and PennDOT and all approvals required by Commonwealth contracting procedures have been obtained, as indicated by the date of the last Commonwealth signature. Following full execution, PennDOT shall insert the effective date at the top of Page 1.
- b. **Termination for Convenience of Non-Appropriation.** The parties may cancel or terminate this Agreement for convenience or non-appropriation until the date the Project is awarded, but not after that date. Each party shall bear the costs it incurred during the time this Agreement was in effect.
- c. **Termination for Cause.** This Agreement shall not terminate for cause unless the cause renders it void or otherwise unenforceable. If one party alleges an event of default has occurred resulting in termination, and the other party disputes whether a breach has occurred, then this Agreement shall not terminate until and unless the dispute is resolved and this Agreement is determined to be void or otherwise unenforceable.
- d. **Accrued Rights and Obligations.** Termination of this Agreement for any reason shall not release either party from any liability which, at the time of termination, has already accrued to the other party or which is attributable to a period prior to termination, nor preclude either party from pursuing any rights and remedies it may have with respect to any breach of this Agreement.

6. **Liquid Fuels Funds.** If the Municipality fails to perform the terms, conditions, or provisions of this Agreement, PennDOT may withhold the Municipality's Liquid Fuels Tax Fund Allocation to complete necessary work and reimburse PennDOT for the costs due.
7. **Notification of Required Action.** If PennDOT determines repair, maintenance, or other required action is necessary with respect to the sidewalk, PennDOT shall notify the Municipality in writing. The Municipality shall begin necessary work within five calendar days of receipt of PennDOT's notice. The Municipality or its contractor shall provide safeguards to protect the safety of the traveling public during the work (including work zone traffic control in accordance with PennDOT regulations and publications). The Municipality shall be responsible for promptly completing the necessary work, even if the general maintenance responsibility for the sidewalk has been delegated to adjacent property owners or other parties; however, if a municipal ordinance makes the adjacent property owners financially responsible for the cost of the work, nothing shall prevent the Municipality from seeking reimbursement from them. If the Municipality fails to commence necessary work within this five-day period or fails to prosecute the work diligently to completion, PennDOT may perform the repair, maintenance, or other necessary action at the Municipality's sole cost and expense.
8. **Failure to Make Payment.** Failure by the Municipality to pay PennDOT within 45 days of receipt of an invoice for work performed by PennDOT shall constitute a default. Payment shall be deemed made as follows, according to the manner chosen:
 - a. If made in person, when tendered;
 - b. If made by electronic transfer, as provided by state and federal banking laws and regulations;
 - c. If made by U.S. First Class Mail, postage prepaid, when posted; or
 - d. If made by overnight delivery service having positive tracking, when picked up.
9. **Responsibility for Liability.** PennDOT shall pay for loss, liability or expense, which arises out of or relates to PennDOT's acts or omissions with respect to its obligations under this Agreement, where a final determination of liability on the part of PennDOT is established by a court of law or where settlement has been agreed to by PennDOT. This provision shall not be construed to limit PennDOT's rights, claims or defenses which arise as a matter of law or pursuant to this Agreement. This provision shall not be construed to limit the sovereign immunity of the Commonwealth or PennDOT. The Municipality shall pay for loss, liability or expense, which

arises out of or relates to the Municipality's acts or omissions with respect to its obligations under this Agreement, where a final determination of liability on the part of the Municipality is established by a court of law or where settlement has been agreed to by the Municipality. This provision shall not be construed to limit the Municipality's rights, claims or defenses which arise as a matter of law or pursuant to this Agreement. This provision shall not be construed to limit immunity or defense of the Municipality (including those under the Political Subdivision Tort Claims Act, 42 Pa.C.S. §§ 8541-8564).

10. **Resolutions and Ordinances.** The Municipality shall pass ordinances or resolutions as may be necessary to accomplish the purposes of this Agreement.

11. **Notice.** Notices and reports arising out of, or from, this Agreement shall be in writing and given to the parties at the address provided under this Agreement, either by regular mail, e-mail, or delivery in person. Except for payments made in accordance with this Agreement, notice shall be deemed given when received.

If to PennDOT:
District Executive
Name
7000 Geerdes Boulevard
Street
King of Prussia
City
Pennsylvania 19406
State Zip
(610)205-6700
Telephone
(610)205-6915
Fax

Email Address

If to Municipality:

Township Manager
Name
1001 Stump Road
Street
Montgomeryville
City
PA 18936

State
(215)393-6900
Telephone
(215)855-6656
Fax

Zip

Email Address

A party may change its contact information by providing written notice to the other party.

12. **Amendments and Modifications.** No alterations or variations to this Agreement shall be valid unless made in writing and signed by the parties. Amendments to this Agreement shall be accomplished through a formal written document signed by the parties with the same formality as the original Agreement.
13. **Titles Not Controlling.** The titles of sections are for reference only, and shall not be used to construe the language in this Agreement.
14. **Severability.** The provisions of this Agreement shall be severable. If any phrase, clause, sentence or provision of this Agreement is declared to be contrary to the Constitution of Pennsylvania or of the United States or of the laws of the Commonwealth the applicability thereof to any government, agency, person or circumstance is held invalid, the validity of the remainder of this Agreement and the applicability thereof to any government, agency, person or circumstance shall not be affected thereby.
15. **No Waiver.** Either party may elect not to enforce its rights and remedies under this Agreement in the event of a breach by the other party of any term or condition of this Agreement. In any event, the failure by either party to enforce its rights and remedies under this Agreement shall not be construed as a waiver of any subsequent breach of the same or any other term or condition of this Agreement.
16. **Independence of the Parties.** Nothing contained in this Agreement is intended or shall be construed to, in any respect, create or establish the relationship of partners between the Municipality and PennDOT, or as constituting PennDOT as the representative or general agent of the Municipality for any purpose whatsoever.

17. **Assignment.** This Agreement may not be assigned by the Municipality, either in whole or in part, without the written consent of PennDOT. This provision shall not apply to the transfer of maintenance responsibilities or obligations by the Municipality pursuant to an ordinance as provided for above.
18. **No Third-party Beneficiary Rights.** This Agreement does not create or intend to confer any rights in or on persons or entities not a party to this Agreement.
19. **Force Majeure.** Neither party shall be liable for failure to perform under this Agreement if failure to perform arises out of causes beyond the control and without the fault or negligence of the nonperforming party. Such causes may include, but are not limited to, acts of God or the public enemy, fires, floods, epidemics, quarantine restrictions or freight embargoes. This provision shall become effective only if the party failing to perform immediately notifies the other party of the extent and nature of the problem, limits delay in performance to that required by the event, and takes reasonable steps to minimize delays. This provision shall not be effective unless the failure to perform is beyond the control and without the fault or negligence of the nonperforming party.
20. **Integration and Merger.** This Agreement and, if applicable, any attachments or exhibits when executed, approved and delivered, shall constitute the final, complete and exclusive Agreement between the parties containing the terms and conditions agreed on by the parties. Representations, understandings, promises and agreements pertaining to the subject matter of this Agreement made prior to or at the time this Agreement is executed are superseded by this Agreement unless specifically accepted by any other term or provision of this Agreement. No conditions precedent to the performance of this Agreement exist, except as expressly set forth in this Agreement.

[The remainder of this page is left blank intentionally.]

The parties have executed this Agreement to be effective as of the date of the last signature affixed below.

Attest: Municipality

BY _____
Title: Date

BY _____
Title: Date
Candyce Fluehr Chimera, Chairman

Please attach a resolution providing proof of signature authority for the signer to sign on behalf of the Municipality, Authority or other governmental entity. Signers need to indicate titles and date signatures.

DO NOT WRITE BELOW THIS LINE--FOR DEPARTMENT USE ONLY

APPROVED AS TO LEGALITY
AND FORM

COMMONWEALTH OF PENNSYLVANIA
DEPARTMENT OF TRANSPORTATION

BY _____
for Chief Counsel Date

BY _____
Deputy Secretary or designee Date

BY _____
Deputy General Counsel Date

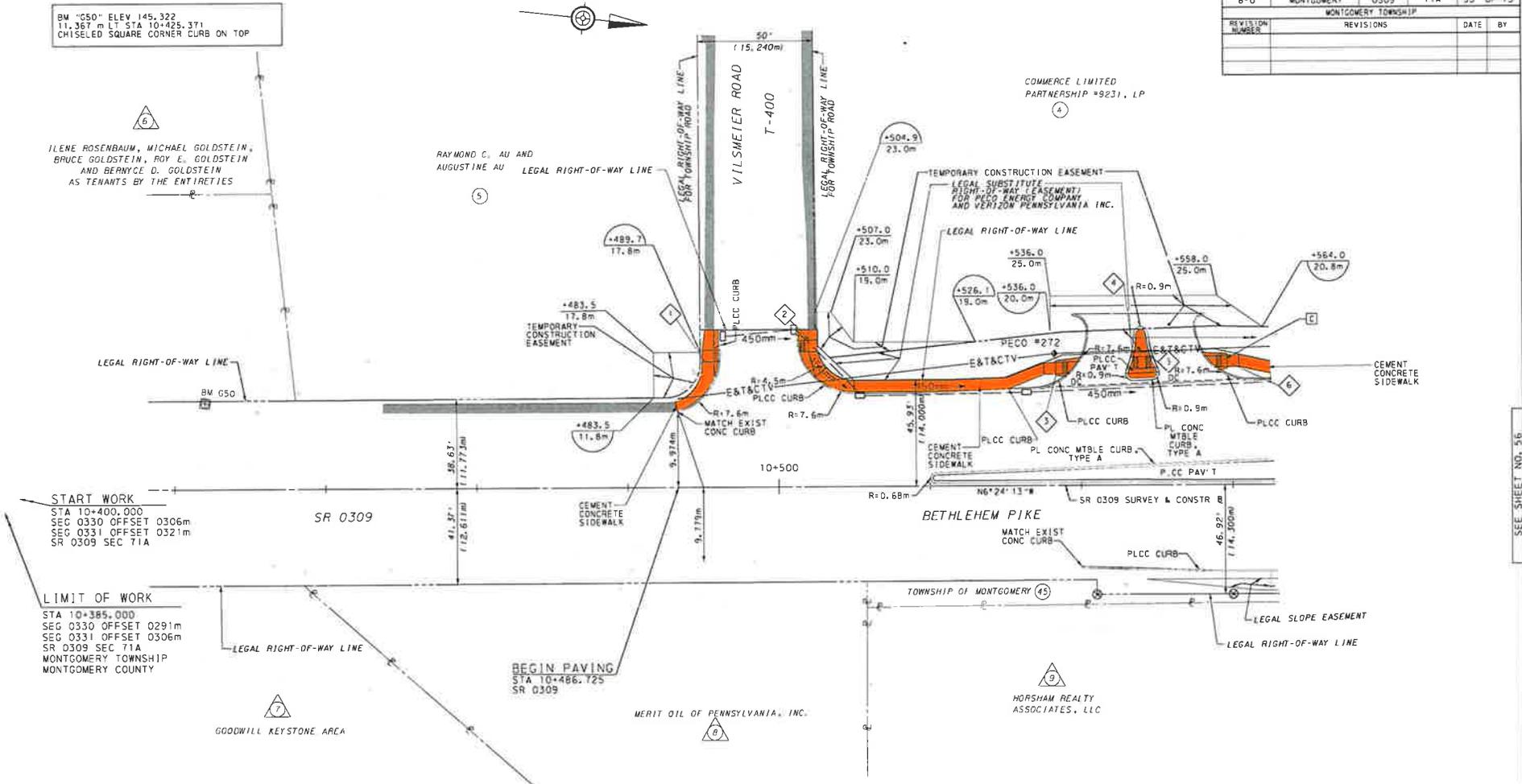
BY _____
Deputy Attorney General Date

D-9012 CADD (02-90) REVISED (05-97)

4/4/2018

PLOTTED: 4/4/2018
 OPERATOR: PWS.GRW
 FILE NAME: \\n:\projects\114545-03_114545-03_114545-03\114545-03\114545-03.dwg
 Date: 2012-20-14:Construction P:\cadd\plan Sheets\055.p101.dwg

| | | | | |
|---------------------|------------|-------|---------|----------|
| DISTRICT | COUNTY | ROUTE | SECTION | SHEET |
| 6-0 | MONTGOMERY | 0309 | 71A | 55 OF 75 |
| MONTGOMERY TOWNSHIP | | | | |
| REVISION NUMBER | REVISIONS | | | DATE BY |
| | | | | |
| | | | | |



Preliminary
 05/03/2018

FOR BASELINE REFERENCES, SEE SHEET NO. 8
 FOR PROFILE, SEE SHEET NO. 65
 SURVEY BOOK NOS. 10111-10112

SEE SHEET NO. 56

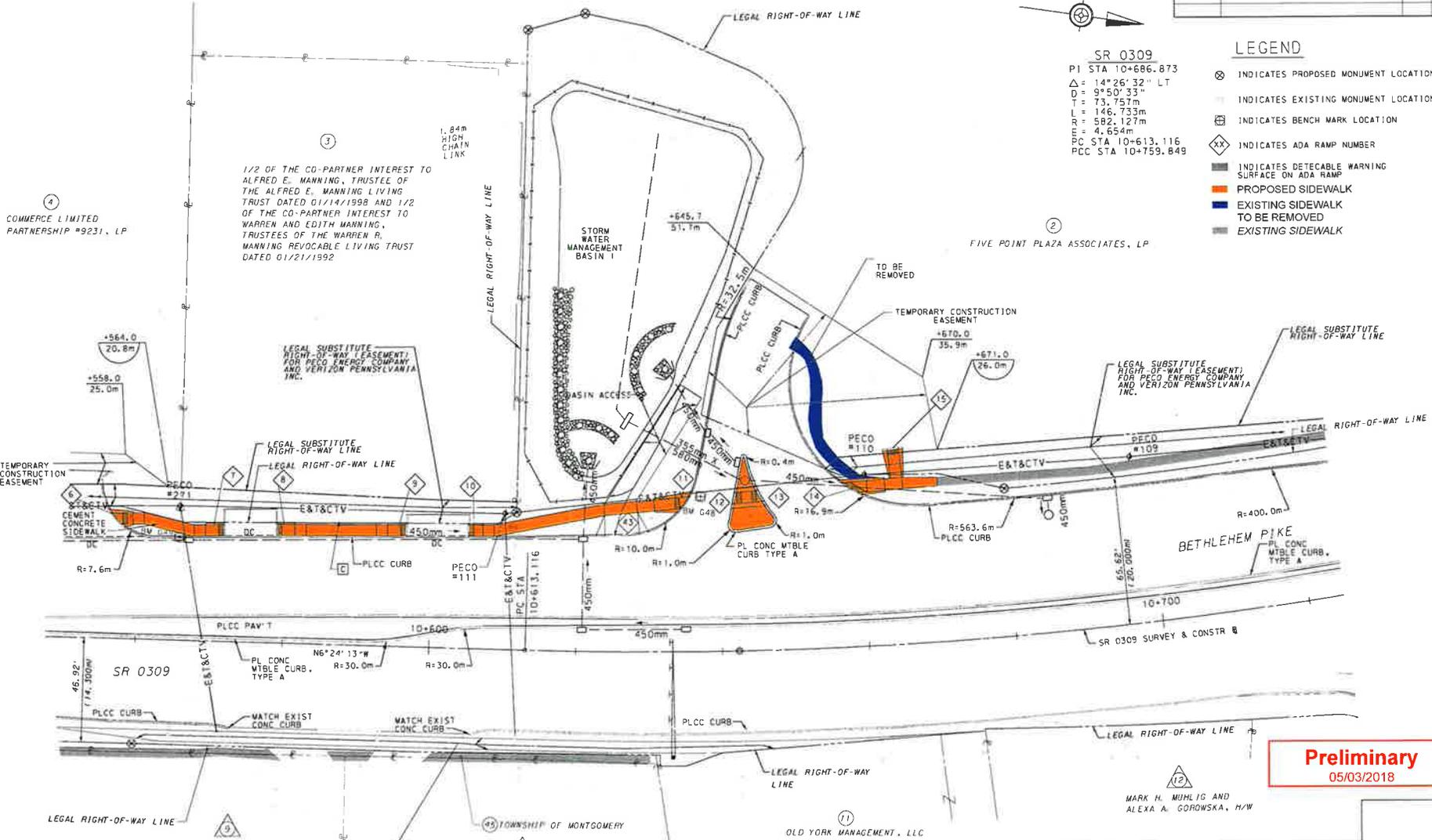
BM "C49" ELEV 143.20
13.972 m LT STA 10+565.680
CHISELED SQUARE END OF WALK

BM "C48" ELEV 141.74
20.970 m LT STA 10+637.245
CHISELED SQUARE CENTERLINE OF ISLAND

| DISTRICT | COUNTY | ROUTE | SECTION | SHEET |
|---------------------|------------|-------|---------|----------|
| 6-0 | MONTGOMERY | 0309 | 71A | 56 OF 75 |
| MONTGOMERY TOWNSHIP | | | | |
| REVISION NUMBER | REVISIONS | DATE | BY | |
| | | | | |

SR 0309
P1 STA 10+666.873
 $\Delta = 14^{\circ}26'32''$ LT
 $D = 9^{\circ}50'33''$
 $T = 73.757m$
 $L = 146.733m$
 $R = 582.127m$
 $E = 4.654m$
PC STA 10+613.116
PCC STA 10+759.849

- LEGEND**
- ⊗ INDICATES PROPOSED MONUMENT LOCATION
 - ⊙ INDICATES EXISTING MONUMENT LOCATION
 - ⊕ INDICATES BENCH MARK LOCATION
 - ◇◇ INDICATES ADA RAMP NUMBER
 - ▬▬▬ INDICATES DETECTABLE WARNING SURFACE ON ADA RAMP
 - ▬▬▬ PROPOSED SIDEWALK
 - ▬▬▬ EXISTING SIDEWALK TO BE REMOVED
 - ▬▬▬ EXISTING SIDEWALK



Preliminary
05/03/2018

FOR BASELINE REFERENCES, SEE SHEET NO. 8
FOR PROFILE, SEE SHEET NO. 65, 66, & 75
SURVEY BOOK NOS. 10111-10112

OPERATOR: rny.dcnw FILE NAME: N:\gpc\city\14545-03_17\five point plaza\civil\design\2017-2014\construction\promax\p10n_sheets\056.p.02.dwg

SEE SHEET NO. 55

SEE SHEET NO. 57

D-9012 CADD (02-901 REVISED (05-97))

4/4/2018

OPERATOR: mxy.dwg FILE NAME: N:\p\m\117\15455-03 (1) File Path: V:\proj\ Design 2017-20\AC\Construction\Plan\03\03.dgn

BM "C37" ELEV 140.302
12.216 m RT STA 12+199.576
CHISELED SQUARE SW CORNER OF
CONCRETE SIGN BASE

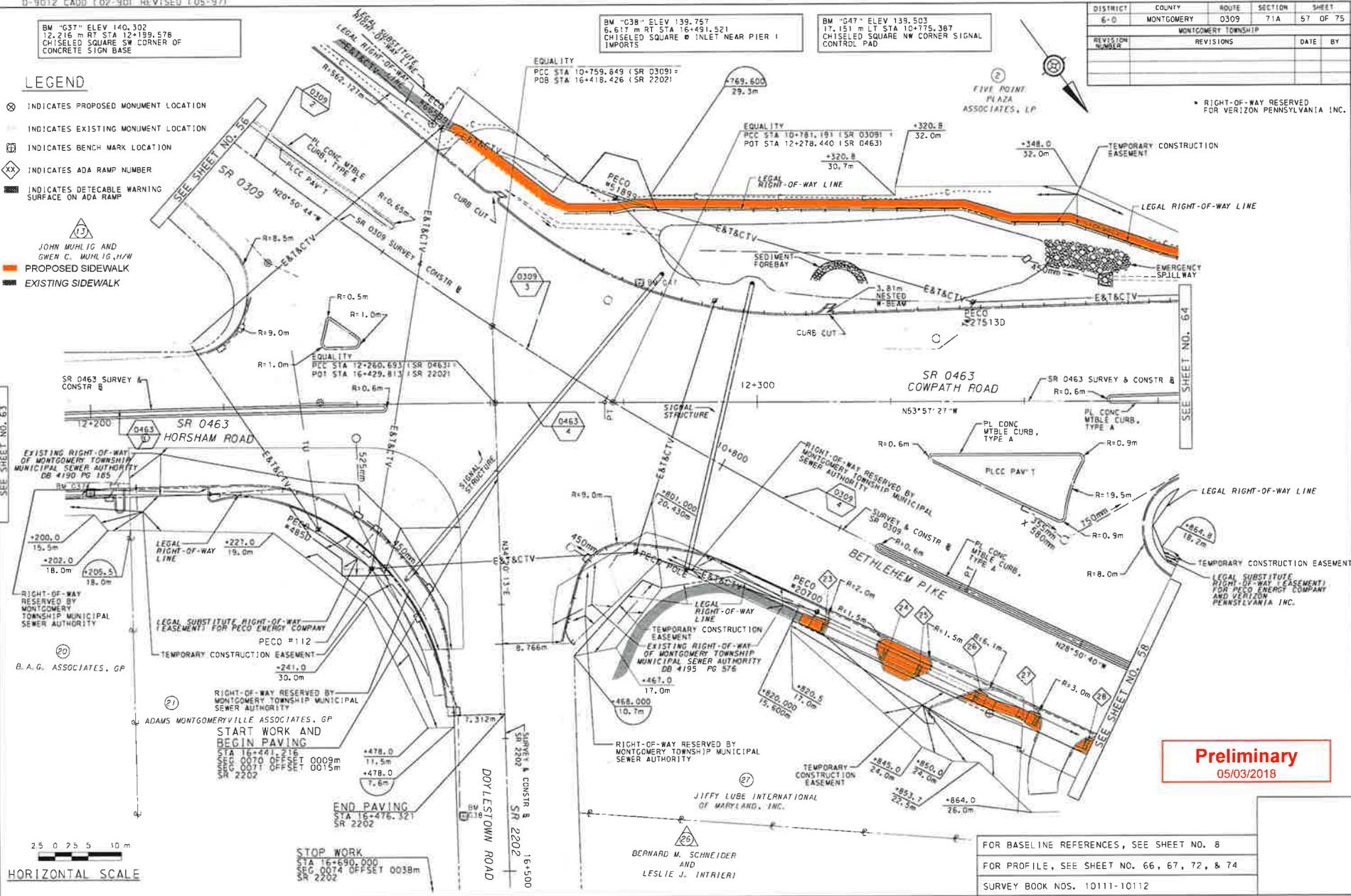
BM "C38" ELEV 139.757
6.617 m RT STA 16+491.521
CHISELED SQUARE INLET NEAR PIER 1
IMPORTS

BM "G47" ELEV 139.503
17.151 m LT STA 10+775.387
CHISELED SQUARE NW CORNER SIGNAL
CONTROL PAD

| DISTRICT | COUNTY | ROUTE | SECTION | SHEET |
|---------------------|------------|-------|---------|----------|
| 6-0 | MONTGOMERY | 0309 | 71A | 57 OF 75 |
| MONTGOMERY TOWNSHIP | | | | |
| REVISIONS | | | | |
| NO. | REVISIONS | DATE | BY | |
| | | | | |

LEGEND

- ⊗ INDICATES PROPOSED MONUMENT LOCATION
- ⊙ INDICATES EXISTING MONUMENT LOCATION
- ⊕ INDICATES BENCH MARK LOCATION
- XX INDICATES ADA RAMP NUMBER
- ▬ INDICATES DETECTABLE WARNING SURFACE ON ADA RAMP
- △ (13) JOHN MUHLIG AND GWEN C. MUHLIG, H/W
PROPOSED SIDEWALK
- ▬ EXISTING SIDEWALK



Preliminary
05/03/2018



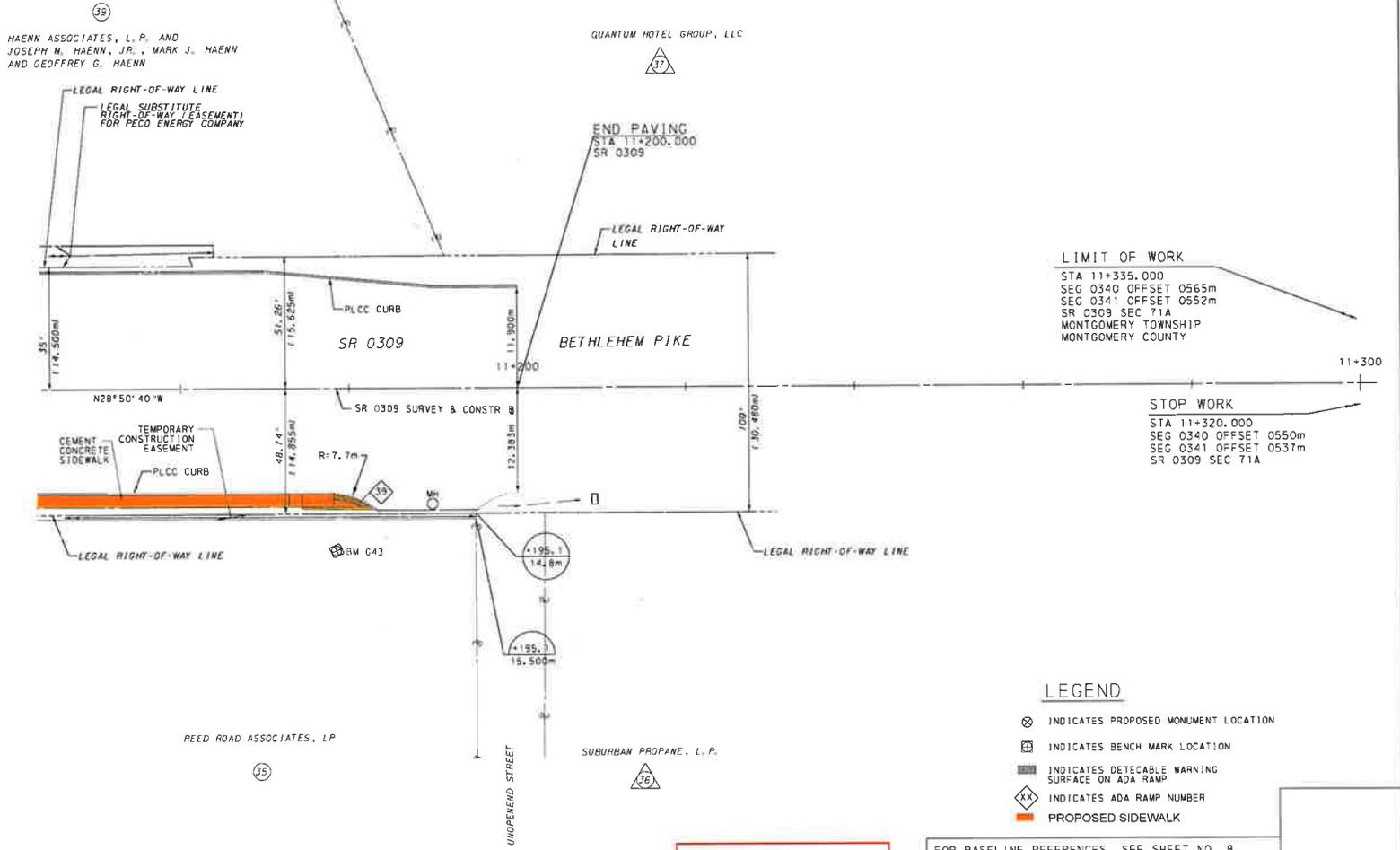
STOP WORK
STA 16+690.000
SEC 0074 OFFSET 0038m
SR 2202

FOR BASELINE REFERENCES, SEE SHEET NO. 8
FOR PROFILE, SEE SHEET NO. 66, 67, 72, & 74
SURVEY BOOK NOS. 10111-10112

BERNARD M. SCHNEIDER
AND
LESLIE J. INTRIERI

BM C43 ELEV 137.024
19.150 m RT STA 11+178.465
CHISELED SQUARE CORNER INLET IN STORM
POND

| DISTRICT | COUNTY | ROUTE | SECTION | SHEET |
|---------------------|------------|-------|---------|----------|
| 6-0 | MONTGOMERY | 0309 | 71A | 60 OF 75 |
| MONTGOMERY TOWNSHIP | | | | |
| REVISION NUMBER | REVISIONS | DATE | BY | |
| | | | | |
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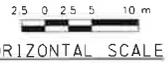
LIMIT OF WORK
STA 11+335.000
SEG 0340 OFFSET 0565m
SEG 0341 OFFSET 0552m
SR 0309 SEC 71A
MONTGOMERY TOWNSHIP
MONTGOMERY COUNTY

STOP WORK
STA 11+320.000
SEG 0340 OFFSET 0550m
SEG 0341 OFFSET 0537m
SR 0309 SEC 71A

- LEGEND**
- ⊗ INDICATES PROPOSED MONUMENT LOCATION
 - ⊠ INDICATES BENCH MARK LOCATION
 - INDICATES DETECTABLE WARNING SURFACE ON ADA RAMP
 - ⬡ INDICATES ADA RAMP NUMBER
 - ▬ PROPOSED SIDEWALK

FOR BASELINE REFERENCES, SEE SHEET NO. 8
FOR PROFILE, SEE SHEET NO. 68 & 69
SURVEY BOOK NOS. 10111-10112

Preliminary
05/03/2018



OPERATOR: hwy.dwg FILE NAME: N:\060811\T\44545-03 14 hwy 060811\T\mat Bas.dgn 2017-2018\Construction P\060811.dwg Sheets\060-p.06.dgn

SEE SHEET NO. 59

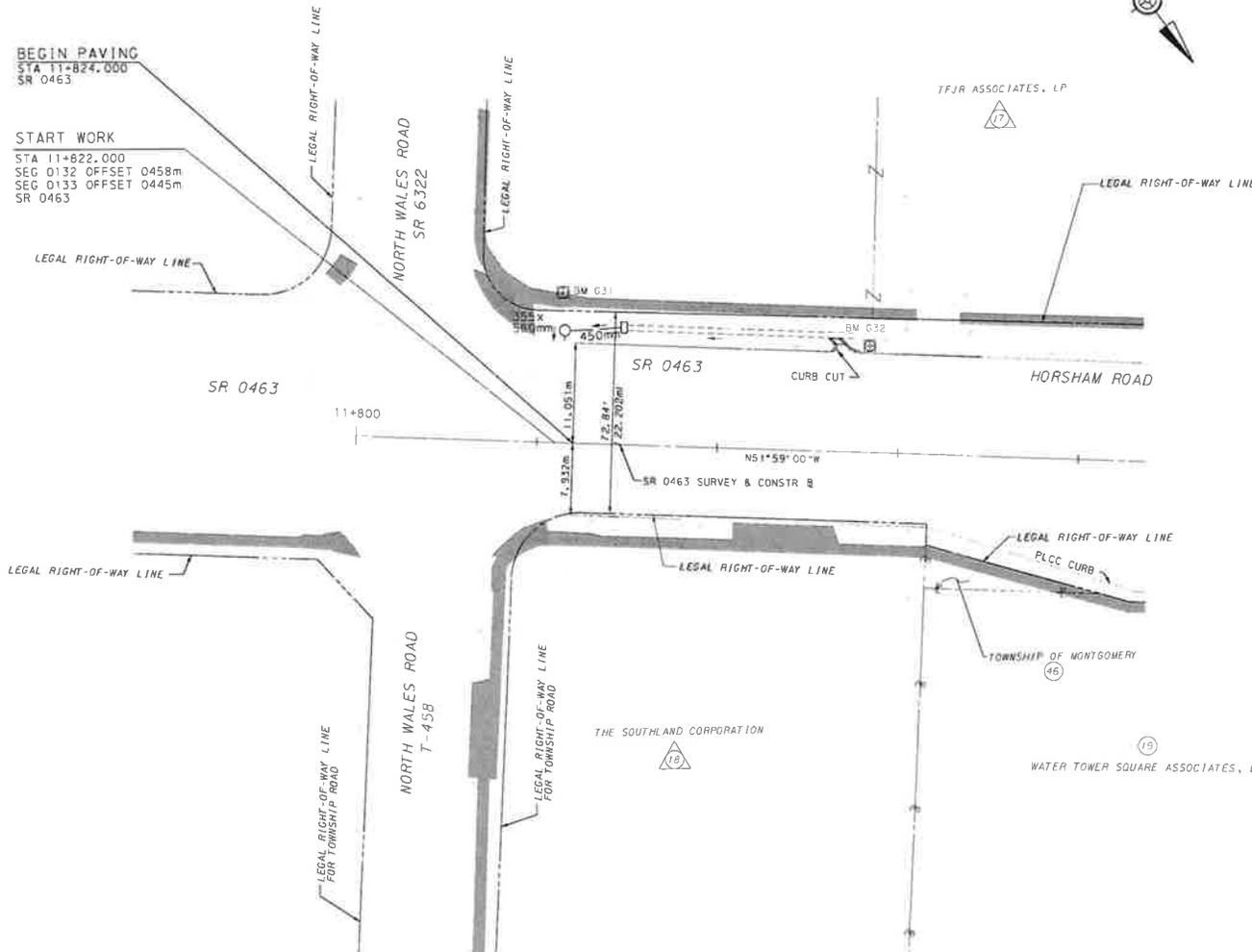
BM "G31" ELEV 144.972
 16,531 m RT STA 11+822.432
 CHISELED SQUARE NW CORNER HORSHAM &
 N WALES ROAD TOP END OF CURB

BM "G32" ELEV 145.490
 12,129 m LT STA 11+856.158
 CHISELED SQUARE SW CORNER OVERHEAD
 SIGN CAISSON

| | | | | |
|---------------------|------------|-------|---------|----------|
| DISTRICT | COUNTY | ROUTE | SECTION | SHEET |
| 6-D | MONTGOMERY | 0309 | T1A | 61 OF 75 |
| MONTGOMERY TOWNSHIP | | | | |
| REVISION NUMBER | REVISIONS | DATE | BY | |
| | | | | |
| | | | | |

LEGEND

-  INDICATES BENCH MARK LOCATION
-  EXISTING SIDEWALK



OPERATION: hwy.dwg FILE NAME: N:\gdp\117-1-6546-03_1-F-hw_00\m\p\17.mxd Date: 2017-2018\CONSTR\action.dgn User: s1081.p.018.dgn



Preliminary
05/03/2018

FOR BASELINE REFERENCES, SEE SHEET NO. 8
 FOR PROFILE, SEE SHEET NO. 70
 SURVEY BOOK NOS. 10111-10112

SEE SHEET NO. 62

MONTGOMERY TOWNSHIP BOARD OF SUPERVISORS
BOARD ACTION SUMMARY

SUBJECT: Consider Authorization to Accept Proposal to Perform Feasibility Study – Township Building Upgrades.

MEETING DATE: May 29, 2018

ITEM NUMBER: # 14.

MEETING/AGENDA:

ACTION XX

NONE

REASON FOR CONSIDERATION: Operational: XX Policy: Discussion: XX Information:

INITIATED BY: Lawrence J. Gregan
Township Manager

BOARD LIAISON: Candyce Fluehr Chimera
Chairman, Board of Supervisors

BACKGROUND:

The 2018 Capital Reserve Budget includes funding to perform upgrades to the Township Administration Building to address operational/physical needs that have developed since the building was opened twenty-three years ago in 1995. These needs include increasing security for the public and employees, improving operating efficiencies due to changing space needs and alternative technologies, refreshing the exterior accesses to the building, replacing aging finishes and furnishings and analyzing the existing mechanical, electrical and data systems of the building.

As a first step in this effort we have solicited a proposal from KCBA Architects, Hatfield PA, to undertake a Feasibility Study of the building needs. KCBA was the original design architect for the building and the designer is still a part of the firm and has a significant amount of knowledge about the design elements of the building.

KCBA's scope of work would involve conducting an analysis of the architectural, mechanical, electrical and data system of the building, provide a list of recommended improvements with estimate of costs, prepare sketches for three levels of upgrades, meet with staff and the Board to present their finding with discussions for next steps. A copy of KCBA's proposal to perform the study is attached.

ZONING, SUBDIVISION OR LAND DEVELOPMENT IMPACT:

None

PREVIOUS BOARD ACTION:

None

ALTERNATIVES/OPTIONS:

None

BUDGET IMPACT:

Funding to fill to perform upgrades to the Township Administration Building was included in the 2018 Approved Capital Budget.

RECOMMENDATION:

It is recommended that the Board accept the proposal from KCBA Architects to perform a feasibility study of upgrades to the Township Building in accordance with their proposal dated May 8, 2018 at a fixed lump sum fee of \$12,490.

MOTION/RESOLUTION:

BE IT RESOLVED by the Board of Supervisors of Montgomery Township that we hereby accept the proposal from KCBA Architects to perform a feasibility study of upgrades to the Township Building in accordance with their proposal dated May 8, 2018 at a fixed lump sum fee of \$12,490.

MOTION: _____ SECOND: _____

ROLL CALL:

| | | | | |
|------------------------|-----|---------|---------|--------|
| Tanya C. Bamford | Aye | Opposed | Abstain | Absent |
| Michael J. Fox | Aye | Opposed | Abstain | Absent |
| Jeffrey W. McDonnell | Aye | Opposed | Abstain | Absent |
| Matthew W. Quigg | Aye | Opposed | Abstain | Absent |
| Candyce Fluehr Chimera | Aye | Opposed | Abstain | Absent |

DISTRIBUTION: Board of Supervisors, Frank R. Bartle, Esq.



KCBA Architects
Eight East Broad Street
Hatfield, PA 19440-2401
t 215.368.5806
f 215.368.3580
kcba-architects.com

May 8, 2018

Lawrence J. Gregan
Township Manager
Montgomery Township
1001 Stump Road
Montgomeryville, PA 18936

Re: Feasibility Study Proposal – Township Building Upgrades

Larry,

Mike Strohecker and I greatly enjoyed meeting with you and your department heads on April 19, 2018 to discuss potential upgrades to the Montgomery Township Building. We both appreciated hearing your insights and were impressed by how well the building has been maintained since it was constructed in 1995.

PROJECT UNDERSTANDING

We understand the purpose of this study is to identify operational and programmatic needs that have developed since the building was constructed and to explore potential upgrade scenarios. From our initial visit, these needs can be grouped into five major categories:

Increase Security

- Increase lobby security
- Relocate functions most visited by the public near the lobby to minimize unrestricted access in office areas
- Replace and supplement existing exterior lighting in entrance courtyard
- Improve wayfinding signage – interior and exterior

Improve Operating Efficiency

- Reconfigure department offices to increase security, efficiency, and in some cases privacy to meet current needs
- Respond to changes in community room use since the community center was constructed
- Evaluate records storage needs/alternatives
- Improve presentation capability in main meeting room
- Evaluate possible off-hours access to public toilets in lobby



Lawrence J. Gregan
May 8, 2018
Page 2

Refresh Exterior

- Review condition of exterior doors and frames
- Analyze roof top wood siding upgrades
- Study possible canopy at exterior of main entrance

Replace Aging Finishes and Some Furnishings

- Upgrade ceiling tile to address building humidity
- Repaint dated color schemes
- Review floor coverings
- Replace deteriorating casework
- Upgrade toilet rooms and kitchens

Upgrade Mechanical and Data Systems

- Replace existing lighting with energy efficient systems
- Update and centralize data systems which have been installed incrementally over the years
- Analyze existing mechanical systems/controls
 - Humidity levels in building seem excessive

SCOPE OF WORK

KCBA proposes the following scope for a study to address the issues noted above:

1. Conduct an architectural analysis of the building and produce a written narrative of existing conditions.
2. Conduct an analysis of mechanical, electrical, and data systems by a team of engineers.
3. Produce a spreadsheet with an itemized list of recommended improvements.
4. Prepare sketches of options for three levels of space reconfiguration:
 - a. Minimal
 - b. Moderate
 - c. Major
5. Meet with Montgomery Township administration staff to review recommendations and sketches and adjust as necessary.
6. Produce an estimate of total project costs for each recommended improvement and reconfiguration option.
7. Meet with Montgomery Township administration staff to prepare for presentation to Township Supervisors.
8. Present our findings to Township Supervisors.
9. Participate in follow-up discussions or presentations if requested.



Lawrence J. Gregan
May 8, 2018
Page 3

FEE PROPOSAL

KCBA Architects propose to complete the scope of work described above for a lump sum fee of \$12,490.

Fee Notes

1. KCBA's base fee includes the following:
 - a. Overtime and standard postage expenses.
 - b. Travel/mileage expenses.
 - c. An electronic PDF of the final deliverable.
2. The following items are not included in our base fee and will be billed as reimbursable expenses:
 - a. Cost of express delivery services such as UPS.
 - b. Fees for permits/approval agencies (none anticipated).
 - c. Cost of reproductions (minimal anticipated).

Thank you again for the opportunity to submit this proposal.

Sincerely,

James A. Clough, AIA
Founding Principal

If you are in agreement with the terms of this proposal, please sign below and return a copy for our files.

KCBA Architects

James A. Clough, AIA, Founding Principal

May 8, 2018

Date

Montgomery Township

Lawrence J. Gregan, Township Manager

Date

MONTGOMERY TOWNSHIP BOARD OF SUPERVISORS
BOARD ACTION SUMMARY

SUBJECT: Request Authorization to Purchase Security Systems

MEETING DATE: May 29, 2018 ITEM NUMBER: #15.

MEETING/AGENDA: ACTION NONE

REASON FOR CONSIDERATION: Operational: xx Policy: Discussion: Information:

INITIATED BY: Richard M. Lesniak BOARD LIAISON: Tanya Bamford, Liaison to the
Director of Fire Services Public Safety Committee

BACKGROUND:

During the 2017 Annual Risk Control Survey, Mr. Peter Erndwein, Delaware Valley Insurance Trust Risk Manager, recommended that the township consider a video intercom system in order to safeguard the occupants of Battalion 1. At times, employees and volunteers are alone inside the building and, for their safety, it's important to identify the visitors prior to opening the door. A video intercom would allow the employees and volunteers to interact with these individuals behind a secure door until their intent can be established. It is also recommended that the township consider a remote door control using a magnetic lock or equivalent. The employees and volunteers could then provide access to visitors from remote locations inside the building.

After assessing the building design and operations at both firehouses, it was decided that a security system should be installed at both locations.

Mr. Richard Grier met with the township's security vendor, The Protection Bureau, to recommend the best solution to secure both facilities. The Protection Bureau provided a quote dated May 16, 2018 for the installation of security systems at a cost of \$11,065.00.

ZONING, SUBDIVISION OR LAND DEVELOPMENT IMPACT:

None.

PREVIOUS BOARD ACTION:

None.

ALTERNATIVES/OPTIONS:

None.

BUDGET IMPACT:

Funding for this unbudgeted expense will be realized through an \$11,065.00

1. interfund transfer from the capital fund, or
2. draw down of the fire fund balance

RECOMMENDATION:

It is recommended that the Board of Supervisors authorize the purchase and installation of video intercom systems with remote door control at both firehouses.

MOTION/RESOLUTION:

BE IT RESOLVED by the Board of Supervisors of Montgomery Township that we hereby authorize the purchase and installation of video intercom systems with remote door control at both firehouses from The Protection Bureau at a cost of \$11,065.00.

MOTION: _____ SECOND: _____

ROLL CALL:

| | | | | |
|------------------------|-----|---------|---------|--------|
| Tanya Bamford | Aye | Opposed | Abstain | Absent |
| Jeffrey W. McDonnell | Aye | Opposed | Abstain | Absent |
| Matthew Quigg | Aye | Opposed | Abstain | Absent |
| Michael J. Fox | Aye | Opposed | Abstain | Absent |
| Candyce Fluehr Chimera | Aye | Opposed | Abstain | Absent |

DISTRIBUTION: Board of Supervisors, Frank R. Bartle, Esq.



Proposal: 15637-1-0

Montgomery Twp Fire Battallion 1&2 Intercom

Proposal Issued:
5/16/2018

Proposal Valid To:
6/15/2018

Prepared for:
Rich Grier

Montgomery Township
1001 Stump Road
Montgomeryville, PA 18936

P (215) 393-6917
E rgrier@montgomerytwp.org
C (267) 249-8437

DESCRIPTION

CLIENT INFORMATION

Name: Montgomery Township

Site

Montgomery Township
1001 Stump Road
Montgomeryville, PA 18936

Billing

Montgomery Township
1001 Stump Road
Montgomeryville, PA 18936

Contact

Rich Grier, Technology Manager
P (215) 393-6917
E rgrier@montgomerytwp.org
C (267) 249-8437

PROJECT NAME: Montgomery Twp Fire Battallion 1&2 Intercom

PROJECT SCOPE

Montgomery Twp Battalion 1 (Stump Rd)

Install video intercom door station at main entry. This door has card access/elec lock on it already.

Install master station at reception desk

Install sub master in day room

Montgomery Twp Battalion 2 (RT 202)

Install video intercom door station at foyer entry.

Install video door station at rear entry.

Both of these doors have card access/elec lock.

Install one master station in the kitchen day area

Install chime extension speaker in truck bay. Configure two different chime sounds for the foyer and rear door.

REFERENCE AGREEMENT:

This Agreement shall remain in full force and effect for five years from the date of signing and shall be governed by the same terms and conditions as the agreement as specified above between the parties dated DEC 15,2007 #1207123_JHL with the same full force and effect as if those terms were reprinted herein in their entirety, except as any of those terms may be modified herein. It is agreed that a FAXED signed copy of this Agreement shall serve as and be construed as an equal to an original in all respects.

The Protection Bureau may withdraw this Agreement, at any time and without notice, should the Agreement be modified in any part by Client without Bureau's written approval, or should Agreement not be accepted by means of signature being affixed hereto within forty-five (45) days of the date written above

PROJECT BUDGET

Battalion 1

| QTY | Manufacture | Part # | Description | | |
|------|-------------|----------|--|-----------------------------|-------------------|
| 1.00 | AIPHONE | JP-4HD | JP SERIES SUB MASTER VIDEO STATION | | |
| 1.00 | AIPHONE | JPS-4AED | VID INTERCOM BOX SET,1-JP-4MED,1-JP-DA,1-PS-2420UL | | |
| 1.00 | AIPHONE | RY-24L | DOOR RELEASE RELAY, FORM C, JP, AX, KB, KC SERIES | | |
| | | | | Equipment | \$2,851.00 |
| | | | | Labor | \$3,045.00 |
| | | | | Battalion 1 SubTotal | \$5,896.00 |

Battalion 2

| QTY | Manufacture | Part # | Description | | |
|------|-------------|----------|--|-----------------------------|-------------------|
| 1.00 | AIPHONE | RY-3DL | 3 DOOR RELEASE RELAY | | |
| 1.00 | AIPHONE | JPS-4AED | VID INTERCOM BOX SET,1-JP-4MED,1-JP-DA,1-PS-2420UL | | |
| 1.00 | AIPHONE | IER-2 | CHIME EXTENSION INTERCOM SPKR | | |
| 1.00 | AIPHONE | JP-DA | VIDEO DOOR STATION, ABS PLASTIC, 1/4 CMOS PTZ CAM | | |
| | | | | Equipment | \$2,193.00 |
| | | | | abor | \$2,976.00 |
| | | | | Battalion 2 SubTotal | \$5,169.00 |

Investment Summary

Total Proposal Amount \$11,065.00

Note: The above price does not include tax

Investment Total

The Protection Bureau will provide the proposed system as described in this proposal for the sum of: **\$11,065.00**

The price above includes: material, equipment and labor as described within this proposal.

PRIOR TO START OF WORK:

If a permit is required by the municipality to perform this work, the normal lead time for approval is 30 business days. Additionally, the average lead time to prepare the permit submission is typically 5-7 business days. Some systems will require more time due to the size of the system, architectural seal requirements or third party coordination. Client is responsible for all permit fees and associated costs, including Bureau’s processing fee of \$50.00. Bureau will use commercially reasonable efforts to expedite this process. Bureau’s permit coordinator will keep Client informed on the permit process and work with Bureau’s project manager to finalize the project start date. Bureau cannot proceed with installation until permit(s) are acquired. The authority having jurisdiction may require permitting for low voltage work including camera installations.

Unless indicated, pricing does not include Prevailing Wage. If project requires Prevailing Wage, then Client agrees to pay difference between quoted amount and Prevailing Wage.

Payment Terms:

Provide a deposit in the amount of **0%** of the installation fee upon formal approval to proceed with the project. Balance to be paid in progress payments as invoiced by The Protection Bureau with payment in full due upon system deployment completion.

Payment shall be Net 30 of invoice date.

Proposal Acceptance:

THIS AGREEMENT IS MADE BETWEEN Philadelphia Protection Bureau, Inc. t/a The Protection Bureau, 197 Philips Road, Exton, PA 19341 (610) 903-4900 ("Bureau"), and Montgomery Township, 1001 Stump Road, Montgomeryville, PA 18936 ("Client").

THE PROTECTION BUREAU

Montgomery Township

By

Signature Date

Title (Must be an officer of Bureau)

Printed Name

Signature Date

Title

Printed Names

MONTGOMERY TOWNSHIP BOARD OF SUPERVISORS
BOARD ACTION SUMMARY

SUBJECT: Consider Payment of Bills

MEETING DATE: May 29, 2018 ITEM NUMBER: # 16.

MEETING/AGENDA: WORK SESSION ACTION XX NONE

REASON FOR CONSIDERATION: Operational: XX Information: Discussion: Policy:

INITIATED BY: Lawrence J. Gregan Township Manager  BOARD LIAISON: Candyce Fluehr Chimera, Chairman of the Board of Supervisors

BACKGROUND:

Please find attached a list of bills for your review.

ZONING, SUBDIVISION OR LAND DEVELOPMENT IMPACT:

None.

PREVIOUS BOARD ACTION:

None.

ALTERNATIVES/OPTIONS:

None.

BUDGET IMPACT:

None.

RECOMMENDATION:

Approval all bills as presented.

MOTION/RESOLUTION:

None.

DISTRIBUTION: Board of Supervisors, Frank R. Bartle, Esq.

| Check Date | Bank | Check | Vendor | Vendor Name | Amount |
|--------------------------|------|-------|-----------|-------------------------------------|------------|
| Bank 01 UNIVEST CHECKING | | | | | |
| 05/25/2018 | 01 | 24(S) | 00000006 | ACME UNIFORMS FOR INDUSTRY | 0.00 |
| 05/17/2018 | 01 | 71638 | 100000319 | CANDORIS | 5,961.85 |
| 05/17/2018 | 01 | 71639 | 00000354 | MAD SCIENCE OF WEST NEW JERSEY | 239.00 |
| 05/25/2018 | 01 | 71640 | 00000842 | 911 SAFETY EQUIPMENT | 204.00 |
| 05/25/2018 | 01 | 71641 | 00000340 | ADVENT SECURITY CORPORATION | 114.00 |
| 05/25/2018 | 01 | 71642 | MISC | ALDEN INDUSTRIES INC | 487.90 |
| 05/25/2018 | 01 | 71643 | MISC-FIRE | ALEXANDER J DEANGELIS | 30.00 |
| 05/25/2018 | 01 | 71644 | 100000672 | ALL RAILROAD SERVICES CORP | 135,000.00 |
| 05/25/2018 | 01 | 71645 | 100000685 | AMY PUENPATOM | 15.00 |
| 05/25/2018 | 01 | 71646 | 100000693 | ANDREA COLFER | 210.00 |
| 05/25/2018 | 01 | 71647 | MISC-FIRE | ANDREW WEINER | 30.00 |
| 05/25/2018 | 01 | 71648 | 00905027 | ARIEL IRIS | 60.00 |
| 05/25/2018 | 01 | 71649 | 00002061 | AT&T MOBILITY | 190.29 |
| 05/25/2018 | 01 | 71650 | 00000561 | ATLANTIC TACTICAL | 251.78 |
| 05/25/2018 | 01 | 71651 | 00000043 | BERGEY'S | 268.42 |
| 05/25/2018 | 01 | 71652 | MISC-FIRE | BILL WIEGMAN | 120.00 |
| 05/25/2018 | 01 | 71653 | 00000448 | BISHOP WOOD PRODUCTS, INC | 715.22 |
| 05/25/2018 | 01 | 71654 | MISC | BLUE HAVEN POOLS/CALVITTI POOL | 928.58 |
| 05/25/2018 | 01 | 71655 | 00000209 | BOUCHER & JAMES, INC. | 5,191.25 |
| 05/25/2018 | 01 | 71656 | 00000209 | VOID | 0.00 |
| 05/25/2018 | 01 | 71657 | 100000049 | BUCKS COUNTY CONSORTIUM | 25.00 |
| 05/25/2018 | 01 | 71658 | 100000405 | C.E.S. | 35.54 |
| 05/25/2018 | 01 | 71659 | MISC-FIRE | CARL HERR | 30.00 |
| 05/25/2018 | 01 | 71660 | 100000692 | CARLOS BLAZQUEZ | 15.00 |
| 05/25/2018 | 01 | 71661 | 00001601 | CDW GOVERNMENT, INC. | 336.20 |
| 05/25/2018 | 01 | 71662 | 03214660 | CENTER POINT POND | 450.00 |
| 05/25/2018 | 01 | 71663 | MISC | CHRISTOPHER KERSHAW - ACCOUNTING | 249.91 |
| 05/25/2018 | 01 | 71664 | MISC | CIMA NETWORK | 179.50 |
| 05/25/2018 | 01 | 71665 | MISC | COBHAM ADVANCED ELECTRONIC SOLUTION | 142.98 |
| 05/25/2018 | 01 | 71666 | 100000221 | COLMAR VETERINARY HOSPITAL | 60.80 |
| 05/25/2018 | 01 | 71667 | 00000363 | COMCAST | 439.51 |
| 05/25/2018 | 01 | 71668 | 00000363 | COMCAST | 53.01 |
| 05/25/2018 | 01 | 71669 | 00000363 | COMCAST | 208.18 |
| 05/25/2018 | 01 | 71670 | 00000335 | COMCAST CORPORATION | 615.96 |
| 05/25/2018 | 01 | 71671 | 00000222 | COMMONWEALTH PRECAST, INC. | 3,470.00 |
| 05/25/2018 | 01 | 71672 | 100000432 | COSIMO RICCIOLI AND SONS | 15,472.00 |
| 05/25/2018 | 01 | 71673 | 00903100 | COURIER TIMES, INC. | 628.00 |
| 05/25/2018 | 01 | 71674 | 00001891 | CREATIVE PRODUCT SOURCING, INC. | 714.29 |
| 05/25/2018 | 01 | 71675 | 00000548 | CWR ELECTRONICS INC. | 146.94 |
| 05/25/2018 | 01 | 71676 | 00000111 | DAVID H. LIGHTKEP, INC. | 175.77 |
| 05/25/2018 | 01 | 71677 | MISC | DAVID LAUSER, EXECUTOR OF THE | 18.76 |
| 05/25/2018 | 01 | 71678 | MISC-FIRE | DAVID P BENNETT | 30.00 |
| 05/25/2018 | 01 | 71679 | 100000103 | DEEP RUN AQUATIC SERVICES, INC. | 7,500.00 |
| 05/25/2018 | 01 | 71680 | 100000632 | DEER COUNTRY FARM AND LAWN, INC | 4,931.00 |
| 05/25/2018 | 01 | 71681 | 00000208 | DELL MARKETING L.P. | 165.74 |
| 05/25/2018 | 01 | 71682 | 100000683 | DEREK UNDERHILL | 15.00 |
| 05/25/2018 | 01 | 71683 | 00000125 | DISCHELL, BARTLE DOOLEY | 10,172.25 |
| 05/25/2018 | 01 | 71684 | 00000125 | VOID | 0.00 |
| 05/25/2018 | 01 | 71685 | 100000669 | E-WASTE EXPERTS, INC | 200.00 |
| 05/25/2018 | 01 | 71686 | 00001332 | EAGLE POWER & EQUIPMENT CORP | 252.00 |
| 05/25/2018 | 01 | 71687 | 00000378 | EASTCOM ASSOCIATES, INC. | 142.70 |
| 05/25/2018 | 01 | 71688 | 03214663 | ELITE 3 FACILITIES MAINTNEANCE, LLC | 4,240.00 |
| 05/25/2018 | 01 | 71689 | 100000660 | ELMWOOD PARK ZOO | 1,410.75 |
| 05/25/2018 | 01 | 71690 | 00000161 | EUREKA STONE QUARRY, INC. | 467.39 |
| 05/25/2018 | 01 | 71691 | 00001904 | FACENDA WHITAKER LANES | 1,365.00 |
| 05/25/2018 | 01 | 71692 | 00000423 | FAMILY DINING, INC. | 102.96 |
| 05/25/2018 | 01 | 71693 | 100000670 | FIRE PLANNING ASSOCIATES | 995.00 |
| 05/25/2018 | 01 | 71694 | 100000187 | FRED BEANS FORD LINCOLN | 33,245.00 |
| 05/25/2018 | 01 | 71695 | 100000408 | FSSOLUTIONS | 157.15 |
| 05/25/2018 | 01 | 71696 | 00001852 | G.L. SAYRE, INC. | 103.80 |
| 05/25/2018 | 01 | 71697 | 00001504 | GALETON GLOVES | 30.95 |
| 05/25/2018 | 01 | 71698 | 00000188 | GALLS, AN ARAMARK CO., LLC | 1,803.44 |
| 05/25/2018 | 01 | 71699 | 00000189 | GENERAL PAINTING OF | 19,998.00 |
| 05/25/2018 | 01 | 71700 | 00000193 | GEORGE ALLEN PORTABLE TOILETS, INC. | 621.00 |
| 05/25/2018 | 01 | 71701 | 00000817 | GILMORE & ASSOCIATES, INC. | 26,108.09 |
| 05/25/2018 | 01 | 71702 | 00000817 | VOID | 0.00 |
| 05/25/2018 | 01 | 71703 | 00000198 | GLASGOW, INC. | 442.48 |
| 05/25/2018 | 01 | 71704 | MISC-FIRE | GLEN ROETMAN | 15.00 |
| 05/25/2018 | 01 | 71705 | 00000219 | GLOBAL EQUIPMENT COMPANY | 54.00 |
| 05/25/2018 | 01 | 71706 | 00001616 | GLOCK PROFESSIONAL, INC. | 350.00 |
| 05/25/2018 | 01 | 71707 | 00000206 | GT RADIATOR REPAIRS, INC. | 181.27 |
| 05/25/2018 | 01 | 71708 | 00000195 | GTR | 16.95 |

| Check Date | Bank | Check | Vendor | Vendor Name | Amount |
|------------|------|-------|-----------|-------------------------------------|----------|
| 05/25/2018 | 01 | 71709 | 00000215 | HAVIS, INC. | 1,967.76 |
| 05/25/2018 | 01 | 71710 | 00000903 | HOME DEPOT CREDIT SERVICES | 1,608.21 |
| 05/25/2018 | 01 | 71711 | 00000903 | VOID | 0.00 V |
| 05/25/2018 | 01 | 71712 | 00000903 | HOME DEPOT CREDIT SERVICES | 98.05 |
| 05/25/2018 | 01 | 71713 | 00441122 | HORSHAM CAR WASH | 307.00 |
| 05/25/2018 | 01 | 71714 | 100000689 | JACKIE JONES | 15.00 |
| 05/25/2018 | 01 | 71715 | MISC-FIRE | JAKE WELTMAN | 160.00 |
| 05/25/2018 | 01 | 71716 | MISC | JDV SALES ASSOCIATES | 8.58 |
| 05/25/2018 | 01 | 71717 | 100000691 | JEFF BIBERMAN | 15.00 |
| 05/25/2018 | 01 | 71718 | MISC | JOHN A. LEIDTKE JR. | 118.20 |
| 05/25/2018 | 01 | 71719 | 100000690 | JOHN GUILLAMA | 15.00 |
| 05/25/2018 | 01 | 71720 | MISC-FIRE | JON WASHINGTON | 75.00 |
| 05/25/2018 | 01 | 71721 | 00000740 | K.J. DOOR SERVICES INC. | 705.00 |
| 05/25/2018 | 01 | 71722 | 100000695 | KAREN MEEHAN | 35.00 |
| 05/25/2018 | 01 | 71723 | 100000686 | KELLY NUSSBAUM | 15.00 |
| 05/25/2018 | 01 | 71724 | 00001282 | KENNETH AMEY | 382.50 |
| 05/25/2018 | 01 | 71725 | MISC | KIM'S NAIL AND HAIR INC | 174.62 |
| 05/25/2018 | 01 | 71726 | 03214591 | KIMBALL MIDWEST | 186.13 |
| 05/25/2018 | 01 | 71727 | 00905029 | KUNBI RUDNICK | 190.00 |
| 05/25/2018 | 01 | 71728 | 03214574 | LEHIGH VALLEY IRON PIGS | 1,001.00 |
| 05/25/2018 | 01 | 71729 | 00003009 | LIFE FITNESS | 155.00 |
| 05/25/2018 | 01 | 71730 | 00001706 | LOWE'S COMPANIES INC. | 37.77 |
| 05/25/2018 | 01 | 71731 | 00001065 | MAILLIE LLP | 900.00 |
| 05/25/2018 | 01 | 71732 | 00000055 | MARK MANJARDI | 323.50 |
| 05/25/2018 | 01 | 71733 | MISC-FIRE | MARY NEWELL | 135.00 |
| 05/25/2018 | 01 | 71734 | 00000201 | MASTERTECH AUTO SERVICE, LLC | 46.69 |
| 05/25/2018 | 01 | 71735 | 100000395 | MAUREEN CLARKE | 500.00 |
| 05/25/2018 | 01 | 71736 | 00001428 | MCPWA | 160.00 |
| 05/25/2018 | 01 | 71737 | 00000743 | MES - PENNSYLVANIA | 711.50 |
| 05/25/2018 | 01 | 71738 | MISC-FIRE | MICHAEL D. SHINTON | 30.00 |
| 05/25/2018 | 01 | 71739 | MISC-FIRE | MICHAEL JANSSEN | 15.00 |
| 05/25/2018 | 01 | 71740 | MISC-FIRE | MICHAEL SHEARER | 30.00 |
| 05/25/2018 | 01 | 71741 | 100000684 | MICHAEL TIGHE | 10.00 |
| 05/25/2018 | 01 | 71742 | MISC-FIRE | MIKE BEAN | 45.00 |
| 05/25/2018 | 01 | 71743 | MISC | MILLER DAVID R & JENNIFER K | 1,200.00 |
| 05/25/2018 | 01 | 71744 | 100000188 | MJ EARL | 483.40 |
| 05/25/2018 | 01 | 71745 | 00000312 | MOBILE LIFTS, INC. | 600.00 |
| 05/25/2018 | 01 | 71746 | 00000326 | MONTGOMERY COUNTY | 47.40 |
| 05/25/2018 | 01 | 71747 | 00000324 | MOYER INDOOR / OUTDOOR | 140.70 |
| 05/25/2018 | 01 | 71748 | 00000540 | MYSTIC PIZZA | 264.00 |
| 05/25/2018 | 01 | 71749 | MISC | NORTH PENN CHURCH OF CHRIST | 22.50 |
| 05/25/2018 | 01 | 71750 | 00000270 | NYCE CRETE AND LANDIS CONCRETE | 278.34 |
| 05/25/2018 | 01 | 71751 | 00001134 | OFFICE DEPOT, INC | 322.44 |
| 05/25/2018 | 01 | 71752 | MISC | P & N DISTRIBUTION | 522.22 |
| 05/25/2018 | 01 | 71753 | MISC-FIRE | PAUL R. MOGENSEN | 145.00 |
| 05/25/2018 | 01 | 71754 | 00000661 | PAULA MESZAROS | 316.25 |
| 05/25/2018 | 01 | 71755 | 00000399 | PECO ENERGY | 79.84 |
| 05/25/2018 | 01 | 71756 | 00000595 | PENN VALLEY CHEMICAL COMPANY | 687.28 |
| 05/25/2018 | 01 | 71757 | 00000009 | PETTY CASH | 44.38 |
| 05/25/2018 | 01 | 71758 | 00001171 | PHILA OCCEALTH/DBA WORKNET OCC | 791.60 |
| 05/25/2018 | 01 | 71759 | 00000446 | PHISCON ENTERPRISES, INC. | 100.00 |
| 05/25/2018 | 01 | 71760 | MISC | PIONZIO CONSTRUCTION LLC | 1,200.00 |
| 05/25/2018 | 01 | 71761 | 00000345 | PRINTWORKS & COMPANY, INC. | 269.98 |
| 05/25/2018 | 01 | 71762 | 100000378 | PUPPETS PIZZAZZ | 200.00 |
| 05/25/2018 | 01 | 71763 | 00000252 | PURE CLEANERS | 517.50 |
| 05/25/2018 | 01 | 71764 | 100000662 | QUICK LANE | 229.57 |
| 05/25/2018 | 01 | 71765 | MISC-FIRE | RACHEL GIBSON | 15.00 |
| 05/25/2018 | 01 | 71766 | 00906102 | READY REFRESH | 281.54 |
| 05/25/2018 | 01 | 71767 | 00002033 | REPUBLIC SERVICES NO. 320 | 1,391.95 |
| 05/25/2018 | 01 | 71768 | 00000117 | RIGGINS INC | 1,936.57 |
| 05/25/2018 | 01 | 71769 | 00000115 | RIGGINS, INC | 2,616.41 |
| 05/25/2018 | 01 | 71770 | MISC-FIRE | ROBERT MCMONAGLE | 15.00 |
| 05/25/2018 | 01 | 71771 | MISC-FIRE | RYAN ALLISON | 45.00 |
| 05/25/2018 | 01 | 71772 | MISC-FIRE | RYAN CROUTHAMEL | 15.00 |
| 05/25/2018 | 01 | 71773 | MISC-FIRE | RYAN RUDELLEL | 75.00 |
| 05/25/2018 | 01 | 71774 | MISC | SALLY BEAUTY SUPPLY #878 | 292.70 |
| 05/25/2018 | 01 | 71775 | MISC | SARAH NAILS & SPA, INC | 461.98 |
| 05/25/2018 | 01 | 71776 | MISC | SEARS #1834 | 426.03 |
| 05/25/2018 | 01 | 71777 | MISC | SHERWIN-WILLIAMS COMPANY | 1,279.28 |
| 05/25/2018 | 01 | 71778 | 00001030 | SIGNAL CONTROL PRODUCTS, INC. | 140.00 |
| 05/25/2018 | 01 | 71779 | MISC | SODEXO OPERATIONS, LLC DBA TEVA PHA | 172.65 |
| 05/25/2018 | 01 | 71780 | MISC | SPENCER GIFTS, LLC #02181 | 560.71 |
| 05/25/2018 | 01 | 71781 | 00000015 | SPRINT | 452.81 |
| 05/25/2018 | 01 | 71782 | 00001394 | STANDARD INSURANCE COMPANY | 7,546.11 |
| 05/25/2018 | 01 | 71783 | 100000688 | STEPHANIE KEMEZIS | 15.00 |

05/25/2018 11:30 AM
User: msanders
DB: Montgomery Twp

CHECK REGISTER FOR MONTGOMERY TOWNSHIP
CHECK DATE FROM 05/15/2018 - 05/29/2018

Page: 3/3

| Check Date | Bank | Check | Vendor | Vendor Name | Amount |
|------------|------|-------|-----------|-----------------------------------|-----------|
| 05/25/2018 | 01 | 71784 | MISC-FIRE | STEVE SPLENDIDO | 15.00 |
| 05/25/2018 | 01 | 71785 | 100000687 | SUZANNE KEARNEY | 15.00 |
| 05/25/2018 | 01 | 71786 | 00002020 | THOMSON REUTERS | 210.00 |
| 05/25/2018 | 01 | 71787 | 00000570 | TODD JASUTA | 280.90 |
| 05/25/2018 | 01 | 71788 | MISC-FIRE | TOM HUGUENIN | 15.00 |
| 05/25/2018 | 01 | 71789 | 00001984 | TRAFFIC PLANNING AND DESIGN, INC. | 38,485.86 |
| 05/25/2018 | 01 | 71790 | MISC-FIRE | TREVOR DALTON | 30.00 |
| 05/25/2018 | 01 | 71791 | 00000327 | U.S. MUNICIPAL SUPPLY INC. | 2,833.00 |
| 05/25/2018 | 01 | 71792 | 03214643 | UNWINED & PAINT | 600.00 |
| 05/25/2018 | 01 | 71793 | 00000520 | VALLEY POWER, INC. | 67.50 |
| 05/25/2018 | 01 | 71794 | 00000040 | VERIZON | 114.39 |
| 05/25/2018 | 01 | 71795 | 00000040 | VERIZON | 44.89 |
| 05/25/2018 | 01 | 71796 | 00000040 | VERIZON | 185.32 |
| 05/25/2018 | 01 | 71797 | MISC | VERIZON WIRELESS #151852 | 213.45 |
| 05/25/2018 | 01 | 71798 | 00000038 | VERIZON WIRELESS SERVICES, LLC | 1,349.14 |
| 05/25/2018 | 01 | 71799 | MISC-FIRE | VINAY SETTY | 90.00 |
| 05/25/2018 | 01 | 71800 | MISC-FIRE | VINCE ZIRPOLI | 120.00 |
| 05/25/2018 | 01 | 71801 | 03214583 | VWP/WF CORPORATE SERVICES | 7,032.60 |
| 05/25/2018 | 01 | 71802 | 00001329 | WELDON AUTO PARTS | 596.86 |
| 05/25/2018 | 01 | 71803 | 00001329 | WELDON AUTO PARTS | 670.94 |
| 05/25/2018 | 01 | 71804 | 00001084 | WITMER ASSOCIATES, INC. | 15,946.00 |

01 TOTALS:

(4 Checks Voided)

Total of 164 Disbursements:

393,895.06

05/25/2018

Check List
For Check Dates 05/15/2018 to 05/29/2018

| Check Date | Name | Amount | | |
|-----------------|------------------------|---------------------|----|------------|
| 05/17/2018 | BCG 401 | 401 Payment | \$ | 16,225.58 |
| 05/17/2018 | BCG 457 | 457 Payment | \$ | 11,261.45 |
| 05/17/2018 | PA SCDU | Withholding Payment | \$ | 1,011.52 |
| 05/17/2018 | UNITED STATES TREASURY | 941 Tax Payment | \$ | 76,427.60 |
| 05/23/2018 | STATE OF PA | State Tax Payment | \$ | 8,595.25 |
| Total Checks: 5 | | | \$ | 113,521.40 |