

AGENDA
MONTGOMERY TOWNSHIP
BOARD OF SUPERVISORS
September 14, 2015

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Robert J. Birch
Candyce Fluehr Chimera
Michael J. Fox
Jeffrey W. McDonnell
Joseph P. Walsh

Lawrence J. Gregan
Township Manager

ACTION MEETING – 8:00 PM

1. Call to Order by Chairman
2. Pledge of Allegiance
3. Public Comment
4. Announcement of Executive Session
5. Consider Approval of Minutes of August 24, 2015 Meeting
6. Consider Approval of Proposal to Prepare Bid Specification - Restoration of Township Building Roof
7. Consider Authorization to Replace Police Department Booking Center System
8. Consider Extension of Pennsylvania Aggressive Driving & Buckle Up Enforcement Grants
9. Consider Approval of Submission of 2015/2016 DUI Enforcement Program Grant Application
10. Consider Authorization for Emergency Repairs for Ladder 18
11. Consider Approval of ACA Reporting Requirement – DVIT Agreement
12. Consider Approval for Amendment to Actuarial Assumptions for the Police Pension Plan
13. Consider Approval of Change Order #2 – Accessible Playground & Spray Park Project
14. Consideration of Preliminary/Final Plan for LDS#680 – Del Ciotto – 1701 N. Line Street
15. Consider Approval of Waiver of Permit Fee Requests for :
 - a. Bharatiya Temple – Ganesh Festival
 - b. Todi Foundation – Narayan Guest House
 - c. National Association of the Remodeling Industry – 104 Brighton Circle
 - d. Montgomery United Soccer Club – Soctoberfest
16. Consider Construction Escrow Releases:
 - a. Crystal/Maple Road Development – Release # 6 - LDS#639
 - b. Firefox Development – Release #9 – LDS#630
17. Consider Payment of Bills
18. Other Business
19. Adjournment

Future Public Hearings/Meetings:

09-15-2015 @12:30pm – Business Development Partnership
09-16-2015 @6:00pm – Municipal Sewer Authority
09-16-2015 @7:30pm – Shade Tree Commission
09-16-2015 @7:30pm – Public Safety Committee
09-17-2015 @7:30pm – Planning Commission

09-21-2015 @7:30pm – Finance Committee
09-22-2015 @7:00pm – Environmental Advisory Committee
09-28-2015 @8:00pm – Board of Supervisors

MONTGOMERY TOWNSHIP BOARD OF SUPERVISORS
BOARD ACTION SUMMARY

SUBJECT: Public Comment

MEETING DATE: September 14, 2015 ITEM NUMBER: #3

MEETING/AGENDA: WORK SESSION ACTION XX NONE

REASON FOR CONSIDERATION: Operational: XX Information: Discussion: Policy:

INITIATED BY: Lawrence J. Gegan
Township Manager

BOARD LIAISON: Michael J. Fox, Chairman
of the Board of Supervisors

BACKGROUND:

The Board needs to remind all individual(s) making a comment that they need to identify themselves by name and address for public record.

The Board needs to remind the public about the policy of recording devices. The individual(s) needs to request permission to record the meeting from the Chairman and needs to identify themselves, by name and address for public record.

ZONING, SUBDIVISION OR LAND DEVELOPMENT IMPACT:

None.

PREVIOUS BOARD ACTION:

None.

ALTERNATIVES/OPTIONS:

None.

BUDGET IMPACT:

None.

RECOMMENDATION:

None.

MOTION/RESOLUTION:

None.

DISTRIBUTION: Board of Supervisors, Frank R. Bartle, Esq.

MONTGOMERY TOWNSHIP BOARD OF SUPERVISORS
BOARD ACTION SUMMARY

SUBJECT: Announcement of Executive Session

MEETING DATE: September 14, 2015 ITEM NUMBER: # 4

MEETING/AGENDA: WORK SESSION ACTION XX NONE

REASON FOR CONSIDERATION: Operational: XX Information: Discussion: Policy:

INITIATED BY: Lawrence J. Gegan BOARD LIAISON: Michael J. Fox, Chairman
 Township Manager of the Board of Supervisors

BACKGROUND:

Frank Bartle will announce that the Board of Supervisors met in Executive Session and will summarize the matters discussed.

ZONING, SUBDIVISION OR LAND DEVELOPMENT IMPACT:

None.

PREVIOUS BOARD ACTION:

None.

ALTERNATIVES/OPTIONS:

None.

BUDGET IMPACT:

None.

RECOMMENDATION:

None.

MOTION/RESOLUTION:

None.

DISTRIBUTION: Board of Supervisors, Frank R. Bartle, Esq.

MONTGOMERY TOWNSHIP BOARD OF SUPERVISORS
BOARD ACTION SUMMARY

SUBJECT: Consider Approval of Minutes for August 24, 2015

MEETING DATE: September 14, 2015 ITEM NUMBER: #5

MEETING/AGENDA: WORK SESSION ACTION XX NONE

REASON FOR CONSIDERATION: Operational: XX Information: Discussion: Policy:

INITIATED BY: Lawrence J. Gregan
Township Manager

BOARD LIAISON: Michael J. Fox, Chairman
of the Board of Supervisors

BACKGROUND:

Please contact Deb Rivas on Monday, September 14, 2015 before noon with any changes to the minutes.

ZONING, SUBDIVISION OR LAND DEVELOPMENT IMPACT:

None.

PREVIOUS BOARD ACTION:

None.

ALTERNATIVES/OPTIONS:

None.

BUDGET IMPACT:

None.

RECOMMENDATION:

None.

MOTION/RESOLUTION:

None.

DISTRIBUTION: Board of Supervisors, Frank R. Bartle, Esq.

**MINUTES OF MEETING
MONTGOMERY TOWNSHIP BOARD OF SUPERVISORS
August 24, 2015**

Chairman Michael Fox called the executive session to order at 7:00 p.m. In attendance were Supervisors Candyce Fluehr Chimera, Robert Birch, Jeffrey McDonnell and Joseph Walsh. Also in attendance were Frank Bartle, Esquire, Scott Blissman, Esquire and Lawrence Gegan.

Chairman Michael Fox called the action meeting to order at 8:03 p.m. In attendance were Supervisors Candyce Fluehr Chimera, Robert Birch, Jeffrey McDonnell and Joseph Walsh. Also in attendance were Frank Bartle, Esquire, Lawrence Gegan, Scott Bendig, Rick Lesniak, Ann Shade, Shannon Drosnock, Bruce Shoupe, Brian Forman, Stacy Crandell, Kelsey McMeans, and Lance Allen.

Following the Pledge of Allegiance, Chairman Michael Fox called for public comment from the audience. Sam Dugan, 143 Pinecrest Lane, commented about the maintenance of 202 and County Line Road. Mr. Dugan said that he understood the matter was coming in front of the Board tonight for maintenance of County Line Road. The Board explained the Township has been in contact with the Bucks County Maintenance Department for PennDOT since the maintenance of County Line Road is their responsibility. Some parts of County Line Road have been mowed but there is still some work left to do and the Township will continue to follow up. He appreciated the Board looking into this matter.

Township Solicitor Frank Bartle, Esquire reported that the Board had met in an executive session earlier in the evening at 7:00 p.m. to discuss five matters. The Board will go back into executive session at the conclusion of the action meeting. There were two potential matters of litigation, discussion regarding union negotiations, and one real estate matter. Mr. Bartle stated that these matters are legitimate subjects of executive session pursuant to Pennsylvania's Sunshine Law.

Chairman Michael Fox made a motion and Supervisor Robert Birch seconded the motion to approve the minutes of the August 10, 2015 Board meeting. The minutes of the meeting were unanimously approved as submitted.

Assistant to the Township Manager Stacy Crandell introduced the organizations that were receiving donations from the Township. Chairman Michael Fox presented a donation check in the amount of \$6,000 to the Montgomery Township Historical Society. Lisa Knapp Siegel was present to accept the check on behalf of the Montgomery Township Historical Society.

Chairman Michael Fox presented a donation check in the amount of \$10,000 to the Montgomery County Norristown Public Library. Kathy Arnold-Yerger was present to accept the check on behalf of the Montgomery County Norristown Public Library.

Township Manager Lawrence Gregan discussed the landscapes and sidewalk maintenance agreements being required by PennDOT for maintenance of sidewalk and landscape improvements scheduled to be installed as part of the WD2 County Line Road Widening Project. As presented, the agreements would make the Township responsible for 6,881 linear feet of new sidewalk and 2,380 linear feet of new landscape planting areas (over 622 trees and shrubs in 29 planting areas) between Stump Road and Limekiln Pike under the WD2 County Line Road Widening Project.

The Landscape agreement would also make the Township responsible for the maintenance of the original 4,669 linear feet of landscape planting areas from the original WD1 County Line Widening project (Doylestown Road to Upper State Road). PennDOT's contract for the WD2 project includes the option for the Resident Engineer to install new landscaping in the original WD1 project area. No plans have been provided to the Township for these landscape improvements.

PennDOT has advised that acceptance of the maintenance agreements for of all these areas is a condition of installation of these improvements under the WD2 project. If the Township does not accept the maintenance responsibility for the landscape and sidewalk

improvements (with the exception of the ADA ramps), they would be removed from the project. The Township would still be responsible for year-round maintenance of the ADA ramp facilities under the State Highway Law of 1945.

The Township had Boucher & James, Inc., Township's Landscape Engineer, review the landscaping agreement and they had a number of concerns. The language in the proposed contracts provides that should the Township not perform the maintenance work within a specified period of time or to PennDOT's standards, PennDOT would have the authority to "withhold so much of the Township's Liquid Fuels Tax Fund Allocation as may be needed to complete any necessary work and to reimburse PennDOT in full for all costs due thereof."

The Board of Supervisors discussed the agreements and while they feel strongly about making the community accessible via interconnection of neighborhood by sidewalks, the agreements are not a good deal for the Township and will result in significant cost to the Township. In addition, it was discussed that the way the area was constructed makes it difficult to mow and maintain landscaping as well as the sidewalks would be difficult to keep clear in winter storms. The consensus of the Board was to not execute the agreements.

Recreation & Community Center Director Brian Forman requested authorization to execute an agreement in order to participate in the Healthways Silver Sneakers Fitness Program. The program is typically available to Medicare-eligible members of a sponsoring health plan at no cost to the eligible member. Medicare eligible members are adults age 65 or older, or, in some cases, those of any age deemed disabled and receiving Medicare. There are six Pennsylvania Health Plan Providers offering this programs including AARP Medicare Supplement Insurance Plan, Aetna Medicare, Highmark, Inc., Humana, Independence Blue Cross and United Healthcare.

There is no cost to the Township to allow program participants access to the fitness equipment in the Community and Recreation Center. The Township will receive \$3.50 per person, per visit, up to a maximum \$30 per person in a given month. (Senior Membership to the

Community and Recreation Center are \$16 per month per person, with the ability to bring 1 guest each visit).

Program participants would have access to the Fitness Room and all of its equipment, but they would not have full member benefits, such as discounted program pricing or access to member only events. As the number of Silver Sneakers participants grows past 30 individuals, we will eventually have the ability to offer Silver Sneakers Group Exercise classes, also at no cost to the Township or the eligible participant.

Resolution#1 made by Chairman Michael Fox, seconded by Vice-Chairman Candyce Fluehr Chimera and adopted unanimously, approved the Township's participation in the Healthways Silver Sneakers Fitness Program for the Community and Recreation Center and authorize execution of the Healthways Mature Market Agreement.

Resolution #2 made by Chairman Michael Fox, seconded by Vice-Chairman Candyce Fluehr Chimera and adopted unanimously, approved the construction escrow release #8 for LDS #630 for the Firefox Phase 1 Townhouse Development in the amount of \$244,516.62.

Resolution #3 made by Chairman Michael Fox, seconded by Supervisor Joseph Walsh and adopted unanimously, approved the construction escrow release #5 for LDS #639 for the Maple Drive / Crystal Road Townhouse Development in the amount of \$178,447.28.

Township Manager Lawrence Gregan asked to have the bills paid with one more addition from E.R. Steubner for work completed up to July in the amount of \$242,892.67. Chairman Michael Fox made a motion to approve the payment of bills for August 24, 2015 with the addition of the E.R. Steubner bill. Supervisor Joseph Walsh seconded the motion. The payment of bills was unanimously approved as submitted.

There being no further business to come before the Board, the meeting adjourned at 8:30 p.m.

Chairman Michael Fox announced that the Board would be re-convening in executive session to discuss personnel matters and matters of potential litigation and would not be coming back for any further public action.

MONTGOMERY TOWNSHIP BOARD OF SUPERVISORS
BOARD ACTION SUMMARY

SUBJECT: Consider Approval of Proposal to Prepare Bid Specification - Restoration of Township Building Roof

MEETING DATE: September 14, 2015

ITEM NUMBER: #6

MEETING/AGENDA: WORK SESSION

ACTION XX

NONE

REASON FOR CONSIDERATION: Operational: XX Policy: Discussion: Information:

INITIATED BY: Kevin A. Costello
Public Works Director

BOARD LIAISON: Michael J. Fox, Chairman

BACKGROUND:

In May of this year we received a survey report on the condition of the roof for the Township Building. The roof on this building is twenty years old and the survey was prepared to analyze its current condition and provide recommendation for any repair, replacement or restoration of the roof and other portions of the roofing system. The recommendations section from the report, a copy of which is attached, recommended certain repairs to damaged areas of the roof and restoring the existing EPDM roof system using a urethane based fluid applied restoration system.

We have obtained a proposal from Weatherproofing Technologies, Inc. to design and prepare the necessary bid documents for the Roof Restoration Project for the Township building in the amount of \$9,200.00. The actual Roof Restoration Project will be proposed as part of the 2016 Budget and is funded through funds set aside annually in the Capital Reserve Fund for this project. Our goal is to have all the documents prepared in 2015 and ready to go out to bid in early January 2016 to obtain the best pricing for the project.

ZONING, SUBDIVISION OR LAND DEVELOPMENT IMPACT:

None

PREVIOUS BOARD ACTION:

None

ALTERNATIVES/OPTIONS:

BUDGET IMPACT:

The cost for the design and bid document preparation would be \$9,200.00 (*see attached proposal*). The cost estimate for the 2016 Restoration Project is estimated to be around \$300,000.00 and funding has been set aside over the last several years in the Capital Reserve Fund.

RECOMMENDATION:

It is recommended that the Board approve the Proposal from Weatherproofing Technologies, Inc. for the design and preparation of bid documents for Roof Restoration Project for the Township Building at a cost of \$9,200.

MOTION/RESOLUTION:

BE IT RESOLVED by the Board of Supervisors of Montgomery Township that we hereby approve the Proposal from Weatherproofing Technologies, Inc. for the design and preparation of bid documents for Roof Restoration Project for the Township Building at a cost of \$9,200.

MOTION: _____ SECOND: _____

ROLL CALL:

Robert J. Birch	Aye	Opposed	Abstain	Absent
Candyce Fluehr Chimera	Aye	Opposed	Abstain	Absent
Jeffrey W. McDonnell	Aye	Opposed	Abstain	Absent
Joseph P. Walsh	Aye	Opposed	Abstain	Absent
Michael J. Fox	Aye	Opposed	Abstain	Absent

DISTRIBUTION: Board of Supervisors, Frank R. Bartle, Esq.

ROOF SURVEY REPORT
MONTGOMERY TOWNSHIP BUILDING
1001 STUMP ROAD
MONTGOMERYVILLE, PENNSYLVANIA



for

Montgomery Township
1001 Stump Road
Montgomeryville, Pennsylvania 18936

CONSULTANT
Weatherproofing Technologies, Inc.



24 Cherry Circle
Glen Mills, PA 19342

WTI PROJECT NO. P13-035-01

May 18, 2015

TABLE OF CONTENTS

<u>ITEM</u>	<u>PAGE</u>
INTRODUCTION	1
FINDINGS	3
CONCLUSIONS	8
RECOMMENDATIONS	9
BUDGET COSTS	10
APPENDIX	12
- Condition Photographs	
- Roof Survey Plan	

INTRODUCTION

This Roof Condition Survey Report has been prepared for Montgomery Township Building for the survey of the EPDM roof system on the Montgomery Township Building - Roof Areas A through F & the Dog Kennel - Main Roof located at 1001 Stump Road in Montgomeryville, Pennsylvania.

Authorization

Authorization to perform this evaluation and analysis was in the form of a contract agreement between Montgomery Township and Weatherproofing Technologies, Inc.

Scope

The purpose of the roof survey was to gain an overview of the apparent condition of the roof system and provide conclusions and recommendations that address these conditions.

The scope of the roof survey included visual observations, taking of roof cores, performing a roof moisture survey using infrared thermography, digital photographic documentation and an analysis and evaluation of the roof. Data from this survey has been incorporated into this Roof Condition Survey Report.

A structural analysis of the roof deck and framing, and testing for asbestos in the roofing materials and physical properties of the roofing materials was not included in the scope of this roof survey.

General

The recommendations submitted for the surveyed roofs are based on information gathered from visual observations, moisture survey and roof cores. Visual observations, moisture survey and roof cores described in this report are based upon roof conditions at the time of the survey and these conditions may change as the roof ages, necessitating alterations to the recommendations found in this report.

Material Sampling

A total of four (4) roof cores were taken in the EPDM roof system on the surveyed roof areas. Each core area in the roof system was repaired by installing new roof insulation and EPDM membrane sheet set in adhesive over each core. The location of the roof cores are shown on the Roof Survey Plan.

The description of materials in each roof core is included in the FINDINGS section of this report.

INTRODUCTION

Moisture Survey / Infrared Thermography

A moisture survey using infrared thermography was performed on each roof area on the Montgomery Township Building - Roof Areas A through F & the Dog Kennel - Main Roof. Roof cores and probes were taken in various areas of the roof system to verify the readings taken by the infrared scanner.

The full scope of the moisture survey is included in the FINDINGS section of this report.

Photographic Documentation

Color Digital Photographs were taken to provide a visual description of typical roof conditions and selected problem areas. Color Digital Thermograms were taken to provide a documentation of the moisture content in the roof system on the surveyed roof areas.

Roof Survey Plan Preparation

Field measurements were made to provide data for the preparation of a Roof Survey Plan. Typical features were building dimensions and the location of roof areas, roof cores and wet roofing materials.

Building Information

The building around Montgomery Township Building and the Dog Kennel is constructed of steel roof framing, steel roof deck, stone walls and an exposed insulated EPDM roof system installed in 1995.

Roof Information

The total roof size of the six roof areas on the Main Section of Montgomery Township Building identified as Roof Areas A through F is approximately 26,724 square feet.

The total roof size of the one roof area on the Dog Kennel Building adjacent to the Montgomery Township Building identified as the Main Roof Area is approximately 1,200 square feet.

A roofing system warranty is not in force for the roof system on any of the roof areas on the Montgomery Township Building and Dog Kennel Building.

Water Leaks & Repairs

A significant amount of water leakage has developed in various interior areas of the Montgomery Township building during a rainstorm or melting of snow. The water passed into the roof system, through the joints in the steel roof decking and into the interior of the building. Repairs to openings in seams between EPDM roof membrane sheets and openings in seams of base flashings have been performed on several occasions in an attempt to stop the water leakage.

There has been no reported water leakage in the Dog Kennel building during a rainstorm or melting of snow.

FINDINGS

Specific conditions of the existing roof systems were noted during the roof condition survey that indicate the condition of the individual components of the roof areas and identify items that could adversely affect the performance of the roof systems. Color Digital Photographic documenting these conditions can be found in the Appendix.

Montgomery Township Building

Roof Area A - Front Entrance Vestibule

Visual Observations

The visual survey of the roof system revealed that the insulated EPDM roof system and components (insulation, membrane, flashings) have been installed over a sloping roof deck.

During the visual survey of the roof surface, the exposed EPDM roof system exhibited a few defects inclusive of: (1) openings in seams between EPDM membrane sheets; (2) repairs to several seams between EPDM membrane sheets; and (3) repairs to seams between EPDM base flashing & membrane sheets. These defects were repaired using a piece of EPDM sheet set in adhesive.

Water Drainage -

The roof surface has a positive slope toward the one roof drain, without evidence of ponding water on the roof surface.

Roof Area B

Destructive Analysis

Roof Core RC-1 revealed that the existing roof system from exposed roof surface to structural roof deck is constructed as follows:

- (1) Fully adhered EPDM membrane sheets set in contact adhesive
- (2) 3.25 inch thick polyisocyanurate insulation boards mechanically attached to the roof deck
- (3) Steel roof deck

Roof Core RC-2 revealed that the existing roof system from exposed roof surface to structural roof deck is constructed as follows:

- (1) Fully adhered EPDM membrane sheets set in contact adhesive
- (2) 3.25 inch thick polyisocyanurate insulation boards mechanically attached to the roof deck
- (3) Steel roof deck

Roof Core RC-3 revealed that the existing roof system from exposed roof surface to structural roof deck is constructed as follows:

- (1) Fully adhered EPDM membrane sheets set in contact adhesive
- (2) 3.25 inch thick polyisocyanurate insulation boards mechanically attached to the roof deck
- (3) Steel roof deck

The locations of the roof cores are shown on the enclosed Roof Survey Plan.

FINDINGS

Roof Area B (continued)

Visual Observations

The visual survey of the roof system and taking of roof cores revealed that the insulated EPDM roof system and components (insulation, membrane, flashings) have been installed over a sloping steel roof deck.

During the visual survey of the roof surface, the exposed EPDM roof system exhibited numerous defects inclusive of: (1) openings in seams between EPDM membrane sheets; (2) repairs to several seams between EPDM membrane sheets; and (3) repairs to seams between EPDM base flashing & membrane sheets. These defects were repaired using a piece of EPDM sheet set in adhesive.

Most of the EPDM walkpads around rooftop equipment curbs and in the field of the roof are adhered to the EPDM membrane. However, there are a few EPDM walkpads that are not adhered to the EPDM membrane.

Water Drainage -

While most of the roof surface has positive slope toward roof drains, the roof surface adjacent to several of the roof drains does not have a continual positive slope. Water ponds on these areas of the roof surface near the roof drains.

Screen Walls

Existing wood planks attached to structural steel framing comprise the screen walls and are in poor condition. Severe curling of wood planks and rusting of steel framing has developed.

Roof Area C - Overhang Roof

Visual Observations

The visual survey of the roof system revealed that the insulated EPDM roof system and components (insulation, membrane, flashings) have been installed over a sloping roof deck.

During the visual survey of the roof surface, the exposed EPDM roof system exhibited a defect, openings in seams between EPDM membrane sheets. This defect has been repaired using a piece of EPDM sheet set in adhesive.

Water Drainage -

The roof surface has a positive slope toward the roof edge and a roof drainage system has not been installed.

FINDINGS

Roof Areas D, E

Visual Observations

The visual survey of the roof system and taking of roof cores revealed that the insulated EPDM roof system and components (insulation, membrane, flashings) have been installed over a sloping steel roof deck.

During the visual survey of the roof surface, the exposed EPDM roof system exhibited numerous defects inclusive of: (1) openings in seams between EPDM membrane sheets; (2) repairs to several seams between EPDM membrane sheets; and (3) repairs to seams between EPDM base flashing & membrane sheets. These defects were repaired using a piece of EPDM sheet set in adhesive.

Most of the EPDM walkpads around rooftop equipment curbs and in the field of the roof are adhered to the EPDM membrane. However, there are a few EPDM walkpads that are not adhered to the EPDM membrane.

Air conditioning lines that connect to a condensing unit have not been sealed the EPDM roof system using a standard pitch pocket detail. Silicone sealant has been placed around the air conditioning lines and EPDM boot flashing to serve as a permanent flashing detail.

Water Drainage -

While most of the roof surface has positive slope toward roof drains, the roof surface adjacent to several of the roof drains does not have a continual positive slope. Water ponds on these areas of the roof surface near the roof drains.

Screen Walls - Roof Area D

Existing wood planks attached to structural steel framing comprise the screen walls and are in poor condition. Severe curling of wood planks and rusting of steel framing has developed.

Roof Area F - Rear Entrance Canopy

Visual Observations

The visual survey of the roof system revealed that the insulated EPDM roof system and components (insulation, membrane, flashings) have been installed over a sloping roof deck.

During the visual survey of the roof surface, the exposed EPDM roof system exhibited a few defects inclusive of: (1) openings in seams between EPDM membrane sheets; (2) repairs to several seams between EPDM membrane sheets; and (3) repairs to seams between EPDM base flashing & membrane sheets. These defects were repaired using a piece of EPDM sheet set in adhesive.

Water Drainage -

The roof surface has a positive slope toward the one roof drain, without evidence of ponding water on the roof surface.

FINDINGS

Dog Kennel Building

Main Roof Area

Destructive Analysis

Roof Core RC-4 revealed that the existing roof system from exposed roof surface to structural roof deck is constructed as follows:

- (1) Fully adhered EPDM membrane sheets set in contact adhesive
- (2) 3.25 inch thick polyisocyanurate insulation boards mechanically attached to the roof deck
- (3) Steel roof deck

The location of the roof core is shown on the enclosed Roof Survey Plan.

Visual Observations

The visual survey of the roof system and taking of a roof core revealed that the insulated EPDM roof system and components (insulation, membrane, flashings) have been installed over a sloping steel roof deck.

During the visual survey of the roof surface, the exposed EPDM roof system exhibited numerous defects inclusive of: (1) openings in seams between EPDM membrane sheets; (2) repairs to several seams between EPDM membrane sheets; and (3) repairs to seams between EPDM base flashing & membrane sheets. These defects were repaired using a piece of EPDM sheet set in adhesive.

Water Drainage -

The roof surface has a positive slope toward roof drains, without evidence of ponding water on the roof surface.

FINDINGS

Roof Moisture Survey

Description - Infrared Thermography

The hand held infrared imager, Mikron 7515 camera, used in the roof moisture survey is a non-contact device that detects infrared energy (heat) and converts it into an electronic signal that is then processed to produce a thermal image on a video monitor and perform temperature calculations. Heat sensed by the infrared camera is precisely quantified, or measured, monitoring thermal performance and identifying and evaluating the relative severity of heat-related problems.

The hand held infrared imager was used by the thermographer to detect heat differentials in the roof surface. Galvanic probes were taken to relate the infrared readings to wet, damp or dry roofing materials.

Results

A roof moisture survey of the roof system was performed in the evening on May 7, 2015 using infrared thermography testing.

Montgomery Township Building

Roof Areas A, C, F

The infrared scanner revealed that excessive moisture was not present in any area of the roof system on Roof Areas A, C, F.

Roof Area B

The infrared scanner revealed that excessive moisture was present in four (4) separate and distinct areas of the roof system on Roof Area B that totals 36.75 sq. ft. in size of the roof system. The location of these four (4) separate and distinct areas of the roof system that contain excessive moisture are shown on the Roof Survey Plan.

Roof Area D

The infrared scanner revealed that excessive moisture was present in one (1) separate and distinct area of the roof system on Roof Area D that totals 5.00 sq. ft. in size of the roof system. The location of this one (1) separate and distinct area of the roof system that contains excessive moisture are shown on the Roof Survey Plan.

Roof Area E

The infrared scanner revealed that excessive moisture was present in four (4) separate and distinct areas of the roof system on Roof Area E that totals 40.80 sq. ft. in size of the roof system. The location of these four (4) separate and distinct areas of the roof system that contain excessive moisture are shown on the Roof Survey Plan.

Dog Kennel Building

Main Roof Area

The infrared scanner revealed there was no excessive moisture in any area of the roof system on the Main Roof Area.

CONCLUSIONS

Montgomery Township Building - Roof Areas A, B, C, D, E, F **Dog Kennel Building - Main Roof Area**

The water leakage in the interior of the Building has developed as a result of defects in the EPDM membrane and flashings, especially at seams between EPDM sheets and base flashing details.

Defects in the fully adhered EPDM roof system have developed due to the effects of long term (30year) weathering and improper installation of contact adhesive in seams between EPDM sheets due to the installer's failure to follow roofing standards. These defects cannot be repaired in a cost effective manner to maintain a watertight roof system for a significant period of time.

When the insulated EPDM roof system is restored per the Recommendations in this report, the restored roof system will perform in a watertight condition for the next 20 years with minimal annual maintenance required.

Montgomery Township Building - Roof Areas B, D, E **Dog Kennel Building - Main Roof Area**

Water Drainage -

The primary roof drainage system, roof drains have been placed throughout each roof area. A few areas of the roof surface do not have a positive slope and as a result, water ponds on those areas of the roof. Ponding water hastens the deterioration of the contact adhesive in seams between EPDM sheets.

RECOMMENDATIONS

Montgomery Township Building - Roof Areas A, B, C, D, E, F **Dog Kennel Building - Main Roof Area**

Roof System

The existing insulated fully adhered EPDM roof system should be restored using white colored urethane based fluid applied restoration system to make seams between EPDM membrane and flashing sheets watertight and waterproof EPDM sheets and extend the service life of the urethane based fluid applied roof system to at least 20 years. This lighter color of fluid applied urethane will reduce the heat load on the ceiling below each roof area.

Prior to the installation of urethane coating, existing wet roofing materials should be removed, discarded and replaced with new dry identical materials and tied into the surrounding existing EPDM roof system to a watertight condition.

Rooftop Equipment

Existing gas line supports should be discarded and replaced with new plastic supports with a roller to provide a stable support for each run of gas lines over the roof surface. The roller in each support should allow for thermal movement of each run of gas line.

Metal Edging

Existing metal edging on parapet walls should be removed and discarded and replaced with 0.050" thick KYNAR painted Galvalume Steel edging system.

Roof Maintenance

A preventative maintenance program should be implemented: (1) until the existing roof system is replaced to prevent further water leakage into the roof system; and (2) after the existing roof system is replaced to extend the service life of the new roof system.

Montgomery Township Building - Roof Areas B & D

Screen Walls

Existing wood plank should be removed, discarded and replaced with KYNAR painted aluminum wall panels, clips and stainless steel fasteners. Structural framing members for wall planks should be prepared and painted with 2 coats of rust inhibitor paint.

Montgomery Township Building - Roof Areas B, D, E **Dog Kennel Building - Main Roof Area**

Water Drainage

The roof drain assembly on each roof area should be inspected and replaced with a new cast iron roof drain bowl assembly, only if the drain bowl is cracked.

Tapered polyisocyanurate insulation boards should be installed in areas of crickets where a significant amount of water ponds on the EPDM membrane and mechanical attached to the steel roof deck. Then, EPDM membrane sheets should be adhered to the facer on the tapered polyisocyanurate insulation boards using contact adhesive.

BUDGET COSTS

The budget costs for the following recommended work are based on Year 2015 costs for prevailing wage rate labor, material, equipment, bonds, insurance, permits, overhead and profit. Note: These budget costs do not include fees for design, pre-construction, contract administration and inspection services and other Owner related project costs.

Montgomery Township Building - Roof Areas A, B, C, D, E, F **Dog Kennel Building - Main Roof Area**

The budget cost to:

- (1) restore the existing insulated fully adhered EPDM roof system using white colored urethane based fluid applied restoration system;
- (2) remove existing wet roofing materials and replacing with new dry identical materials and tied into the surrounding existing roof system to a watertight condition;
- (3) provide and install tapered polyisocyanurate insulation boards in areas of crickets where a significant amount of water ponds on the EPDM membrane and mechanical attach to the steel roof deck and adhere EPDM membrane sheets to the facer on the tapered polyisocyanurate insulation boards using contact adhesive;
- (4) remove and discard existing gas line supports and replace with new plastic supports with a roller to provide a stable support for each run of gas lines over the roof surface;
- (5) remove and discard existing metal edging on parapet walls and replace with 0.050" thick KYNAR painted Galvalume Steel metal edging system

ranges from \$ 9.50 - \$ 10.50 per sq. ft. for an approximate total cost of \$ 265,000 to \$ 294,000. for the 27, 924 sq. ft. roof on the Montgomery Township Building and Dog Kennel Building.

Montgomery Township Building - Roof Areas B & D

Screen Walls

The budget cost to: (1) remove and discard existing wood plank and replace with KYNAR painted aluminum wall panels, clips and stainless steel fasteners; and (2) prepare and paint structural framing members for wall panels with 2 coats of rust inhibitor paint is \$ 45,000.

May 18, 2015

Enclosures

Enclosed are:

- (1) Color digital photographs illustrating the condition of the existing roof systems & screen walls on the roof areas;
- (2) Roof Survey Plan that identifies the location of roof areas, roof cores and wet roofing materials.

Please review the enclosed Roof Condition Survey Report and call me to discuss the next plan of action.

Sincerely,

Weatherproofing Technologies, Inc.

Clifford C. Conover, P.E., RRC
Field Consultant

Enclosures

APPENDIX



CONDITION PHOTOGRAPHS



Photo 1 - Roof Area A -View of the insulated fully adhered EPDM roof system



Photo 2 - Roof Area A -View of View of the insulated fully adhered EPDM roof system (refer to red arrow).



Photo 3 - Roof Area A -View of areas of roof where water ponds (red arrow) on the insulated fully adhered EPDM roof system



Photo 4 - Roof Area A -View of areas of roof where water ponds (red arrow) on the insulated fully adhered EPDM roof system



Photo 5 - Roof Area A -View of the screen wall (red arrow) above the insulated fully adhered EPDM roof system



Photo 6 - Roof Area A -View of areas of the insulated fully adhered EPDM roof system (red arrow) in front of the Upper Metal Roof (green arrow)



Photo 7 - Roof Area A -View of the rooftop equipment (red arrows) inside the screen wall near the roof hatch and above the insulated fully adhered EPDM roof system



Photo 8 - Roof Area A -View of the rooftop equipment (red arrows) inside the screen wall near the roof hatch and above the insulated fully adhered EPDM roof system



Photo 9 - Roof Area A -View of the rooftop equipment (red arrows) inside the screen wall near the roof hatch and above the insulated fully adhered EPDM roof system. Note the loose EPDM walkpads (green arrow) dispersed on the roof surface.



Photo 10 - Roof Area A -View of typical seam between EPDM membrane sheets (red arrows) where sealant has been installed along the edge of the seam to stop+ water leakage inside the building below.



Photo 11 - Roof Area A -View of the location of water trapped in the insulated fully adhered EPDM roof system (red arrow.) in Anomaly 1



Photo 12 - Roof Area A -View of area of roof where water ponds (red arrow) on the insulated fully adhered EPDM roof system.



Photo 13 - Roof Area A -View of the location of water trapped in the insulated fully adhered EPDM roof system (red arrow) in Anomaly 2 adjacent to Roof Area B.



Photo 14 - Roof Area A -View of area of roof where buckling (red arrow) of the EPDM sheets above joints between roof insulation boards in the insulated fully adhered EPDM roof system.



Photo 15 - Roof Area A -View of the insulated fully adhered EPDM roof system (red arrow) on Roof Area D.



Photo 16 - Roof Area A -View of the firewall (red arrow) between sections of Roof Areas B & D.



Photo 17 - View of the insulated fully adhered EPDM roof system (red arrow) on Roof Area D adjacent to Roof Area F - Canopy Roof. Nearly all of the roof surface has positive slope to the roof drains.



Photo 18 - Roof Area D -View of the screen wall (red arrow) above the insulated fully adhered EPDM roof system

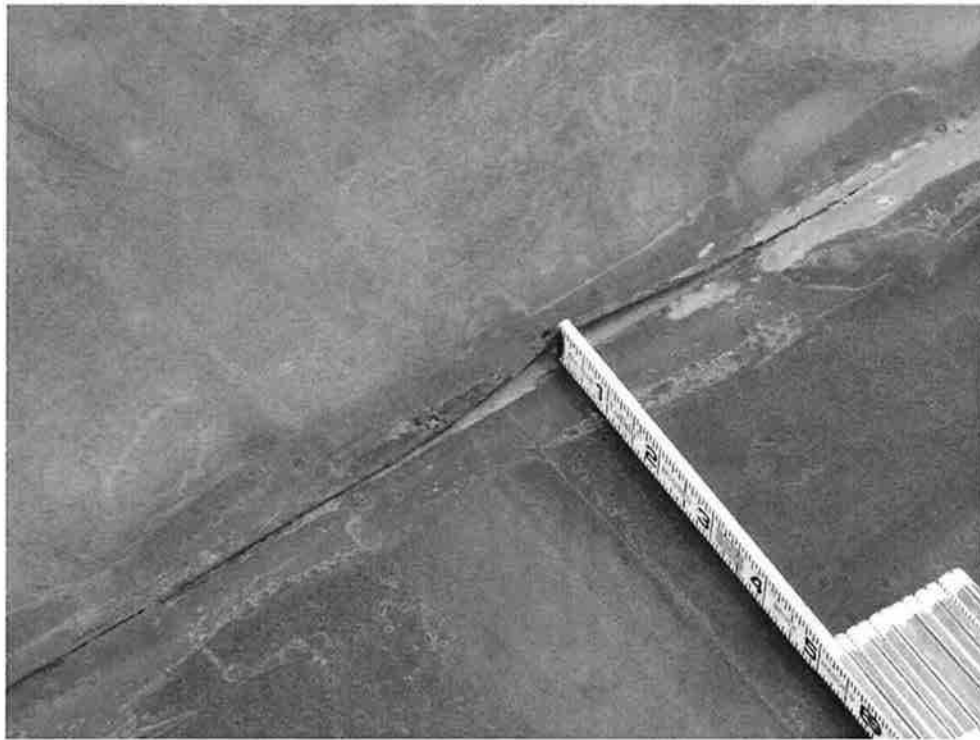


Photo 19 - View of an opening (red arrow) in the seam between fully adhered EPDM membrane sheets on Roof Area D.



Photo 20 - Metal Roof -View of the metal roof panels where plastic snow guards have fallen from the roof (red arrow) onto the fully adhered EPDM roof below on Roof Area B.



Photo 21 - View of rooftop equipment (red arrows) inside screen wall on Roof Area D.



Photo 22 - Roof Area D -View of the screen wall above the insulated fully adhered EPDM roof system. Note the missing section (red arrow) of wood siding in the screen wall.



Photo 23 - Roof Area D - View of the screen wall (red arrow) above the insulated fully adhered EPDM roof system.



Photo 24 - Roof Area E - View of the location of water trapped in the insulated fully adhered EPDM roof system (red arrow) in Anomaly 6.



Photo 25 - Roof Area E - View of the location of water trapped in the insulated fully adhered EPDM roof system (red arrows) in Anomaly 7, 8, 9.

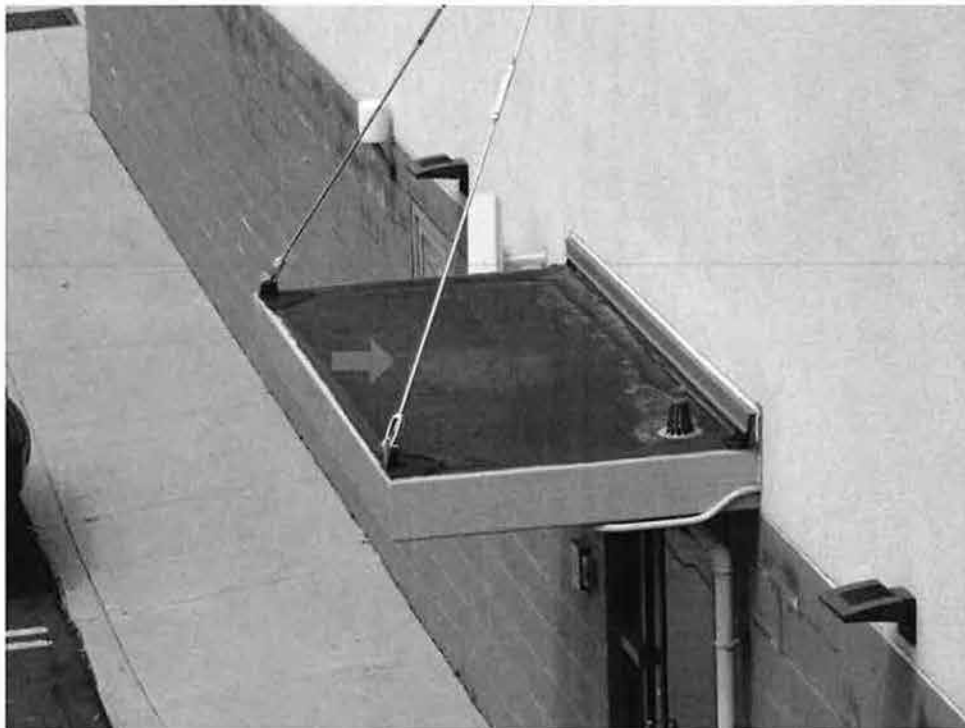


Photo 26 - Roof Area F - View of the insulated fully adhered EPDM roof system (red arrow).



Photo 27 - Roof Area E - View of the insulated fully adhered EPDM roof system (red arrow) on the Dog Kennel Building.



Photo 28 -Metal Roof -View of the metal roof system (red arrow) on a building adjacent to the Dog Kennel Building.

ROOF SURVEY PLAN

Roofing Consulting Services Agreement Including Point of Contact

Proposal Prepared for:

Kevin Costello
Public Works Director
Montgomery Township
1001 Stump Road
Montgomeryville, PA 18936

Re: Roof Bid Documents
Montgomery Township & Dog Kennel Building
1001 Stump Road
Montgomeryville, PA
WTI Proposal P33059 for Roof Consulting Services



A Subsidiary of Tremco Incorporated

3735 Green Road, Beachwood, OH 44122 • www.tremcoroofing.com

An **RPM** Company

3/17/14

Roofing Consulting Services Agreement Including Point of Contact

ROOFING CONSULTING SERVICES AGREEMENT

This will confirm the agreement made by Montgomery Township
with an address of 1001 Stump Road Montgomeryville, PA
("Owner") to retain Weatherproofing Technologies, Inc., 3735 Green Road, Beachwood,
Ohio 44122 ("WTI") to act as the Owner's roofing consultant for the following work:
Roof Consulting Services - preparation of roof restoration Bid Documents
("Work") on the building described in Attachment A ("Project"). Cliff Conover
will act as the point of contact for any questions the Owner may have on the Project.

1. Subject to the terms of this Agreement and for the consideration described herein, WTI or its independent contractors will provide to the Owner those technical services with respect to the Work on the Project described in Attachment 1 to this Agreement ("Technical Services") and incorporated herein. Compensation for technical services is set forth in Attachment 1 and will be invoiced by WTI and paid for by Owner in accordance with the terms of WTI's invoice. WTI's standard terms and conditions may be obtained at <http://www.tremcoroofing.com/files/share/terms/TandCWTI.pdf> and are fully incorporated herein.
2. It is understood and agreed that WTI and its representatives, employees, agents and affiliates are not licensed to practice architecture or engineering, and that in no event shall Technical Services include any architectural or engineering services, opinion or practices. Should conditions of this project at any time be discovered to require the services of an architect or engineer, such professionals will be retained by Owner directly. Owner agrees that its own independent analysis of the matters comprising or relating to the Technical Services or the application thereof should be conducted to determine appropriateness, applicability and accuracy of any aspect of the Technical Services with respect to the Work, the Project or the Owner's business.
3. WTI warrants for a period of one (1) year that the Technical Services: (a) will remain free of defects in workmanship and (b) will be performed in a professional and workmanlike manner consistent with then-current industry standards. ALL OTHER WARRANTIES, EXPRESS OR IMPLIED, IN CONNECTION WITH THE TECHNICAL SERVICES ARE HEREBY EXPRESSLY DISCLAIMED. WTI'S LIABILITY, IF ANY (INCLUDING, BUT NOT LIMITED TO, SPECIAL, INCIDENTAL, CONSEQUENTIAL, INDIRECT OR OTHER DAMAGES), UNDER OR RELATED TO THIS AGREEMENT, THE TECHNICAL SERVICES, OR OTHER RELATED MATTERS SHALL NOT EXCEED THE AMOUNT OF THE COMPENSATION PAID TO WTI UNDER THIS AGREEMENT. Owner agrees that these limitations are reasonable due to the difficulty in determining liability and damages in the event of an alleged breach of this Agreement.
4. The parties agree that WTI is, and at all times shall be, independent of the Owner and any third-party contractor, and in no event shall the parties be considered to be in an employment, agency, partnership or similar type relationship. Neither the Owner nor WTI shall execute any Agreement nor take any action that is binding upon the other.



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An RPM Company

PAGE 1

3/17/14

Roofing Consulting Services Agreement Including Point of Contact

5. WTI will retain full responsibility for its own personnel, including payment of compensation and payroll taxes, provision of benefits, and maintenance of Workers' Compensation and other required insurances. WTI agrees to use its best efforts to ensure continuity of personnel in performing services for Owner under this Agreement. Notwithstanding the preceding sentence, Owner may require WTI to remove and replace any personnel performing services for Owner if Owner is dissatisfied with such personnel.

6. WTI agrees that while it is on the Owner's property WTI, its employees, agents and affiliates, will comply with all applicable laws, rules and regulations and with any reasonable safety and health rules that are communicated to WTI in writing by the Owner.

7. At all times while Technical Services are being performed under this Agreement, WTI shall carry the following insurance:

- Comprehensive General Liability:
\$1,000,000 per occurrence
\$1,000,000 general aggregate
- Workers Compensation Insurance: as required by applicable law
- Employer's Liability Insurance: \$500,000 per occurrence

All insurance shall be primary and all policies (except Workers' Compensation) shall be endorsed to name the Owner as an additional insured for claims caused by WTI's sole negligence in connection with the Technical Services. WTI shall provide the Owner with a certificate of insurance evidencing the above-listed coverage prior to the commencement of the Technical Services.

8. This Agreement shall be construed in accordance with and governed by the laws of the State of Ohio, without regard to conflicts of laws. This Agreement contains the entire agreement of the parties and supersedes all prior agreements relating to the subject matter hereof. No modification or waiver of any provision of this Agreement shall be binding upon the parties unless the same is in writing and signed by both parties.

9. Notices under this Agreement shall be deemed received within three (3) days after deposit in U.S. mail, return receipt requested, and addressed to the party at the address as indicated in the introductory paragraph to this Agreement. This Agreement may be executed in two counterparts each of which shall be an original and together which shall constitute one and the same instrument. A facsimile signature has the same effect as an original signature.

WEATHERPROOFING TECHNOLOGIES, INC.

By:
Its:
Date:

By: Cliff Conover
Its:
Date: June 11, 2015



PAGE 2

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3/17/14

“ATTACHMENTS A & I”

June 11, 2015

Kevin Costello
Public Works Director
Montgomery Township
1001 Stump Road
Montgomeryville, PA 18936

Re: Roof Consulting Services - Bid Documents
Montgomery Township & Dog Kennel Building
1001 Stump Road
Montgomeryville, PA
WTI Proposal P33059 for Roof Consulting Services

Dear Mr. Costello:

Weatherproofing Technologies, Inc., (WTI) tenders this proposal for roof consulting services that includes: (1) Field Verification; and (2) the preparation of Bid Documents (specifications & drawings); relating to the Year 2016 restoration of the existing low sloped fully adhered EPDM roof system on the Montgomery Township & Dog Kennel Building.

The roof consulting services will be provided by Weatherproofing Technologies, Inc. (WTI). Mr. Clifford C. Conover, P.E., RRC with over 30 years of roofing, waterproofing and masonry consulting experience will assist in and administrate the roof consulting services.

SCOPE OF WORK

BID DOCUMENTS (Specifications & Drawings)

Field Verification

In order to obtain the information necessary to prepare a proper set of Bid Documents, WTI will conduct a field verification existing low sloped roof systems the Montgomery Township & Dog Kennel Buildings.

The purpose of the field verification is to determine the physical dimensions and configurations of the roofs and the associated flashing systems, the subsurface components of the existing roof system, and other dimensions or conditions necessary to facilitate preparation of appropriate bid documents.

Bid Documents

The Bid Documents, specifications and drawings, will include requirements for: (1) removing wet roofing materials and replacing with identical dry materials; (2) restoration of fully adhered EPDM roof system with a reinforced liquid applied urethane roofing system; and (3) repair of existing roof drains.

Specifications

Upon completion of analysis of the data gathered, WTI will prepare the Bid Documents. The specifications will be prepared in the internationally accepted Masterspec Specifications format based on material performance characteristics.

Project Drawings

We propose to prepare project drawings consisting of a roof plan that represents the layout of the roof areas and rooftop penetrations and flashing details utilizing CAD drafting technology. The roof plan and flashing details will be thorough identifying the work required for this project.

Roof Consulting Services
Montgomery Township & Dog Kennel Building
1001 Stump Road
Montgomeryville, PA
WTI Proposal P33059

PROFESSIONAL FEES

Bid Documents (Specifications & Drawings)

Based on the information provided to WTI and the Scope of Work delineated above, we propose to perform the Field Verification and prepare Bid Documents for a Lump Sum Professional Fee of \$ 9,200.

PAYMENT AND TERMS

WTI will invoice for services described in the Scope of Work in accordance with the following schedule:

On Delivery of the Bid Document (Specifications and Drawings) \$ 9,200.

The following are Additional Services not included within the Scope of this Contract:

Services requested or required, such as structural, mechanical, and electrical engineering services and the preparation of asbestos abatement and mold specifications are not included in this proposal.

Additional Services:

Additional services will be performed on an hourly fee basis in accordance with the attached 2015 Hourly Fee Schedule, which is attached hereto and incorporated herein by reference, or a fee as may be previously negotiated and mutually agreed to in writing.

If there are any questions about this proposal, please call me.

Sincerely,

Weatherproofing Technologies, Inc.

Clifford C. Conover, RRC
Field Consultant

Enclosure: 2015 Hourly Fee Schedule

Weatherproofing Technologies, Inc.
3735 Green Road
Beachwood, OH 44122



Weatherproofing Technologies, Inc.
2015 Hourly Fee Schedule
(Portal to Portal Rates)

<u>Personnel</u>	<u>Hourly Rate</u>
Field Consultant	\$155.00
Staff Consultant	\$125.00
Technician	\$ 90.00
Inspector	\$ 85.00
Computer Cad/Drafting	\$ 65.00
Clerical	\$ 50.00

Daily Fee Schedule

Daily Inspection including report preparation and travel expenses . . \$ 850.00

Project Related Expenses

Personal Vehicle Mileage \$ 0.575 per mile plus tolls
and parking.

Expenses for meals, lodging, transportation, priority mail service and other project
related charges are invoiced at a rate equal to cost.

The fees listed hereinbefore are not applicable to litigation services.

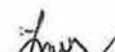
MONTGOMERY TOWNSHIP BOARD OF SUPERVISORS
BOARD ACTION SUMMARY

SUBJECT: Consider Authorization to Replace Police Department Booking Center System

MEETING DATE: September 14, 2015 ITEM NUMBER: **#7**

MEETING/AGENDA: WORK SESSION ACTION **XX** NONE

REASON FOR CONSIDERATION: Operational: **XX** Policy: Discussion: Information:

INITIATED BY: J. Scott Bendig BOARD LIAISON: Michael J. Fox, Chairman
Chief of Police 

BACKGROUND:

The Police Department is proposing the replacement of the department's current police booking center system. This integrated system is utilized to capture the fingerprints and photograph of arrestees, providing the ability to positively identify an arrestee via fingerprints as well as linking their photograph to the Commonwealth's Photo Imaging Network.

Currently a \$300.00 processing fee is assessed by Montgomery County for each arrestee processed through these systems. These fees are then returned to the corresponding booking center to offset the costs associated with operation of the system. Over \$170,000.00 in processing fees has been provided to the township since 2007 for the operation of our booking center system.

Attached is a quote dated August 28, 2015, from the Pennsylvania Chiefs of Police Association for the equipment at a total cost of \$19,000.00. The Pennsylvania Chiefs of Police Association has entered into a blanket purchase agreement with DataWorksPlus, the sole source vendor of equipment currently approved to connect to the Pennsylvania State Police arrest repositories while meeting the technical specifications under the laws of the Commonwealth.

ZONING, SUBDIVISION OR LAND DEVELOPMENT IMPACT: None.

PREVIOUS BOARD ACTION: None.

ALTERNATIVES/OPTIONS:

None

BUDGET IMPACT:

A total of \$21,750.00 was included in the 2015 Approved Final Capital New Budget-Police Department for the replacement of the department's current Police Booking Center System.

RECOMMENDATION:

It is recommended the Board of Supervisors approves award of the contract for the referenced purchase per the 2015 Approved Final Budget.

MOTION/RESOLUTION:

BE IT RESOLVED by the Board of Supervisors of Montgomery Township that we hereby award the contract for the purchase and installation of a police booking center system to DataWorksPlus, the sole source vendor, at a cost of \$19,000.00.

MOTION: _____

SECOND: _____

ROLL CALL:

Robert J. Birch	Aye	Opposed	Abstain	Absent
Candyce Fluehr Chimera	Aye	Opposed	Abstain	Absent
Jeffrey W. McDonnell	Aye	Opposed	Abstain	Absent
Joseph P. Walsh	Aye	Opposed	Abstain	Absent
Michael J. Fox	Aye	Opposed	Abstain	Absent

DISTRIBUTION: Board of Supervisors, Frank R. Bartle, Esq.

LIVESCAN RECEIPTS 2007-2015

2007	2008	2009	2010	2011	2012	2013	2014	2015	GRAND TOTAL
\$ 100.00	\$ 622.69	\$ 609.01	\$ 739.58	\$ 318.81	\$ 150.35	\$ 3,258.59	\$ 3,167.93	\$ 65.00	\$ 173,021.20
\$ 100.00	\$ 742.80	\$ 914.00	\$ 80.61	\$ 1,667.01	\$ 167.35	\$ 181.00	\$ 149.39	\$ 4,912.09	
\$ 777.08	\$ 539.75	\$ 711.42	\$ 440.46	\$ 426.92	\$ 266.91	\$ 1,811.75	\$ 2,215.11	\$ 110.77	
\$ 1,883.44	\$ 258.15	\$ 100.00	\$ 739.45	\$ 1,623.66	\$ 5,174.02	\$ 110.38	\$ 65.08	\$ 20.00	
\$ 547.85	\$ 812.80	\$ 771.09	\$ 285.00	\$ 418.35	\$ 214.80	\$ 2,078.39	\$ 127.71	\$ 2,302.97	
\$ 785.15	\$ 686.42	\$ 936.48	\$ 800.82	\$ 1,389.44	\$ 1,291.16	\$ 354.98	\$ 4,083.63	\$ 4,203.35	
\$ 1,141.72	\$ 1,229.61	\$ 509.44	\$ 285.00	\$ 306.34	\$ 2,282.22	\$ 2,329.90	\$ 2,827.89	\$ 4,149.94	
\$ 310.37	\$ 308.52	\$ 199.13	\$ 292.23	\$ 2,359.04	\$ 1,549.24	\$ 430.22	\$ 68.85	\$ 12.50	
\$ 519.46	\$ 541.48	\$ 495.78	\$ 509.05	\$ 317.00	\$ 2,766.59	\$ 1,540.71	\$ 3,088.47	\$ 115.07	
\$ 1,133.79	\$ 684.19	\$ 725.58	\$ 591.56	\$ 1,511.24	\$ 3,268.63	\$ 50.78	\$ 247.32	\$ 128.34	
\$ 681.78	\$ 100.00	\$ 593.61	\$ 1.24	\$ 24.00	\$ 151.64	\$ 1,147.00	\$ 3,342.38	\$ 5,692.72	
\$ 475.64		\$ 769.79	\$ 440.09	\$ 1,490.95	\$ 2,848.74	\$ 16.90	\$ 4.87	\$ 180.00	
\$ 515.36		\$ 420.85	\$ 862.57	\$ 233.42	\$ 130.18	\$ 3,374.36	\$ 1,844.05	\$ 3,351.30	
			\$ 438.00	\$ 1,385.79	\$ 1,164.30	\$ 31.00	\$ 4,028.42	\$ 4,299.69	
			\$ 847.43	\$ 26.86	\$ 108.06	\$ 3,186.20	\$ 40.00	\$ 300.00	
			\$ 446.35	\$ 1,195.16	\$ 2,404.22	\$ 3,557.73	\$ 2,853.75	\$ 300.00	
			\$ 2,219.44	\$ 73.97		\$ 1,753.24	\$ 100.00		
			\$ 299.45	\$ 1,160.41		\$ 86.95	\$ 1,804.59		
			\$ 773.06	\$ 163.55		\$ 3,245.25	\$ 1,941.53		
				\$ 1,312.55		\$ 1,774.06	\$ 240.00		
				\$ 900.38					
				\$ 189.98					
				\$ 133.76					
				\$ 1,540.97					
				\$ 1,863.51					
\$ 8,971.64	\$ 6,526.41	\$ 7,756.18	\$ 11,091.39	\$ 22,033.07	\$ 23,938.41	\$ 30,319.39	\$ 32,240.97	\$ 30,143.74	



Pennsylvania Chiefs of Police Association

Grants Division

3905 North Front Street, Harrisburg, PA 17110 • Tel: (717) 236-1059 • Fax: (717) 236-0226 Web Site: <http://www.pachiefs.org>

04/08/2015

To Whom It May Concern,

The Pennsylvania Chiefs of Police Association has entered into a blanket purchase agreement with DataWorksPlus to provide livescan fingerprint and digital arrest photo equipment, and maintenance, to eligible local sites throughout Pennsylvania. PCPA is a non-profit Pennsylvania corporation established for the benefit of its association membership. PCPA has administered grant funded programs on behalf of its association membership and other Pennsylvania agencies. Through RFP processes, PCPA has procured equipment and services directly from vendors for the benefit of its association membership and grant programs. PCPA provided for the distribution and delivery of the equipment and services through separate agreements between it and its association members and agencies participating in the grant programs. PCPA has administered programs to establish a statewide network of electronic fingerprint devices for capturing fingerprints and digital arrest photos and transmitting them to the Pennsylvania State Police or Philadelphia Police Automated Fingerprint Identification Systems, AFIS, and central CPIN repositories. DataWorksPlus is engaged in the design, development, manufacture, commercialization, and maintenance of livescan and digital arrest photo mugshot products. PCPA has procured live scan and digital arrest photo, CPIN, products and maintenance services and distributed those products and services through separate agreements with their members and other Pennsylvania end user agency sites. By purchasing these products and maintenance services on a volume basis PCPA is able to receive them at a significantly lower price than if each site was to purchase them individually.

Because the DataWorksPlus livescan and CPIN booking units are the only systems currently approved to connect to the Pennsylvania State Police central repositories for criminal arrest purposes, DataWorksPlus is the sole source for these products and maintenance support for their equipment. Moreover, the current livescan and CPIN booking system configurations resold by the PCPA to sites in Pennsylvania contain proprietary hardware components whose design are patented and meet the technical specifications required by Act 81, 42 Pa.C.S. 1725.5, Booking center fee law. Of equal importance, the software provided by DataWorksPlus is also proprietary and is designed and configured to the specific requirements of the Pennsylvania criminal justice environment. As such, the hardware and software is serviceable only by an authorized DataWorksPlus engineer/technician. Efforts by any party other than DataWorksPlus (including the end user) in attempting to service, add to, or upgrade any hardware or software component of these systems voids the current warranty and maintenance provisions and invalidates that coverage.

A handwritten signature in cursive script that reads "Jerry L. Miller".

Jerry L. Miller

Offender Identification Technology Coordinator

Pennsylvania Chiefs of Police Association

Phone: 717.236.1059

Fax: 717.236.0226

jmiller@pachiefs.org

QUOTE



Pennsylvania Chiefs of Police Association

3905 N. Front Street
Harrisburg, PA 17110
Phone: 717.236.1059 Fax: 717.236.0226
SAP Vendor ID #117424

Quote #15-12QTE
DATE: August 28, 2015

Quoted To:
Scott Bendig, Chief of Police
Montgomery Township Police Department
P.O. Box 68, 1001 Stump Rd.
Montgomeryville, PA 18936
Phone (215) 362-2301

For:
Replacement of TP3800-ED livescan with All-in-One
Booking workstation

Quantity	DESCRIPTION	Unit Price	AMOUNT
1	All-in-One Livescan and Mugshot Capture Station Upgrade using Current CPIN Cabinet All-In-One Booking workstation Includes: <ul style="list-style-type: none">• Replace the Workstation PC in the existing CPIN mugshot system <u>if</u> it has WindowsXP OS• Add a New TP 5300 full hand livescan to the existing CPIN Mugshot system• Add New Finger Print Card Printer• 1 Year Warranty on TP5300 livescan and FP Card Printer• Add Livescan Plus Application Software• Make Cabinet Modifications to accommodate the New Livescan• Installation and training	\$19,000	\$19,000
TOTAL			\$19,000

Make all checks payable to: **Pennsylvania Chiefs of Police Association**
If you have any questions concerning this quote, contact: **Jerry Miller, 717.236.1059, email: jmiller@pachiefs.org**

THANK YOU FOR YOUR PARTICIPATION!

MONTGOMERY TOWNSHIP BOARD OF SUPERVISORS
BOARD ACTION SUMMARY

SUBJECT: Consider Extension of Pennsylvania Aggressive Driving
and Buckle-Up Enforcement Grant

MEETING DATE: September 14, 2015 ITEM NUMBER: # 8

MEETING/AGENDA: WORK SESSION ACTION XX NONE

REASON FOR CONSIDERATION: Operational: XX Information: Discussion: Policy:

INITIATED BY: Scott Bendig, Chief of Police BOARD LIAISON: Michael J. Fox, Chairman

BACKGROUND:

The police department, in conjunction with over 300 municipal police agencies throughout the Commonwealth, participates in the Pennsylvania Aggressive Driving Enforcement/Education Grant Project and the Buckle-Up Enforcement Grant. These grants are statewide initiatives dedicated to targeting aggressive driving locations and raising the seat belt usage level in Pennsylvania. High visibility target enforcement, coordinated earned media, public awareness, and training are conducted on these roadways to reduce the number of needless driving injuries and deaths.

During the 2014/2015 grant period, the police department received \$9,900.00 in funding to participate in these initiatives. Eligibility for additional funding under these programs for the 2015/2016 grant period requires the execution of grant extension agreements.

ZONING, SUBDIVISION OR LAND DEVELOPMENT IMPACT:

None.

PREVIOUS BOARD ACTION:

None.

ALTERNATIVES/OPTIONS:

None.

BUDGET IMPACT:

None.

RECOMMENDATION:

Approve the execution of extension agreements for the Pennsylvania Aggressive Driving Enforcement/Education Grant Project and Buckle-Up Enforcement Grant.

MOTION/RESOLUTION:

BE IT RESOLVED by the Board of Supervisors of Montgomery Township that we hereby approve the execution of extension agreements for the Pennsylvania Aggressive Driving Enforcement/Education Grant Project and Buckle-Up Enforcement Grant.

MOTION: _____ SECOND: _____

ROLL CALL:

Robert J. Birch	Aye	Opposed	Abstain	Absent
Candyce Fluehr Chimera	Aye	Opposed	Abstain	Absent
Jeffrey W. McDonnell	Aye	Opposed	Abstain	Absent
Joseph P. Walsh	Aye	Opposed	Abstain	Absent
Michael J. Fox	Aye	Opposed	Abstain	Absent

DISTRIBUTION: Board of Supervisors, Frank R. Bartle, Esq.

MONTGOMERY TOWNSHIP BOARD OF SUPERVISORS
BOARD ACTION SUMMARY

SUBJECT: Consider Approval of Submission of 2015/2016 DUI Enforcement Program Grant Application

MEETING DATE: September 14, 2015 ITEM NUMBER: **#9**

MEETING/AGENDA: WORK SESSION ACTION XX NONE

REASON FOR CONSIDERATION: Operational: XX Information: Discussion: Policy:

INITIATED BY: J. Scott Bendig, Chief of Police BOARD LIAISON: Michael J. Fox, Chairman

BACKGROUND:

The attached Grant application to the Pennsylvania Department of Transportation has been prepared by Highway Safety Officer David Dunlap on behalf of the Montgomery Township Regional DUI Enforcement Team. The Team was established in 1993 to combat the serious problem of drivers operating vehicles while impaired due to alcohol or drugs and removing those drivers from the highways.

Montgomery Township serves as the administrator for this multi-jurisdictional program involving Police Departments from Montgomery and Buck Counties. The grant funds are used to support sobriety checkpoint operations and roving DUI patrols.

The Task Force has received grants to support the DUI enforcement program for the past several years. The grant amount requested is \$49,996.00 and will provide funding for the purchase of equipment and payment of overtime for enforcement activities.

ZONING, SUBDIVISION OR LAND DEVELOPMENT IMPACT:

None.

PREVIOUS BOARD ACTION:

None.

ALTERNATIVES/OPTIONS:

None.

BUDGET IMPACT:

None.

RECOMMENDATION:

It is recommended that the Board of Supervisors approve the submission of the 2015/2016 DUI Grant on behalf of Montgomery Township Regional DUI Enforcement Team in the amount of \$49,996.00.

MOTION/RESOLUTION:

BE IT RESOLVED by the Board of Supervisors of Montgomery Township that we hereby approve the submission of the 2015/2016 DUI Grant on behalf of Montgomery Township Regional DUI Enforcement Team in the amount of \$49,996.00.

MOTION: _____ SECOND: _____

ROLL CALL:

Robert J. Birch	Aye	Opposed	Abstain	Absent
Candyce Fluehr Chimera	Aye	Opposed	Abstain	Absent
Jeffrey W. McDonnell	Aye	Opposed	Abstain	Absent
Joseph P. Walsh	Aye	Opposed	Abstain	Absent
Michael J. Fox	Aye	Opposed	Abstain	Absent

DISTRIBUTION: Board of Supervisors, Frank R. Bartle, Esq.

Created By: Dunlap, Mr. David on 6/15/2015 6:13:01 PM

Last Modified By: Dunlap, Mr. David on 7/16/2015 4:40:27 PM

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BUDGET SUMMARY

Budget	BHSTE Share
1. Salaries and Wages	\$6,006.00
2. Employee Benefits	\$0
3. Travel	\$500.00
4. Contractual Services	\$0
5. Equipment	\$940.00
6. Good and Services	\$200.00
7. Overtime Enforcement	\$42,350.00
8. Indirect Cost	\$0
Total Project Cost	\$49,996.00

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Last Modified By: Dunlap, Mr. David on 7/16/2015 4:07:23 PM

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OVERTIME ENFORCEMENT

Type	<div>Low Staffing Sobriety Checkpoint</div> <div>Low Staffing Sobriety Checkpoint</div>
Avg. Hourly Rate	<div>\$70.00</div> *
Avg. Hours/Event	<div>5</div> *
No. of Officers	<div>13</div> *
No. of Events	<div>9</div> *
Total	\$40,950.00

Created By: Dunlap, Mr. David on 6/15/2015 6:12:14 PM
Last Modified By: Dunlap, Mr. David on 7/16/2015 4:08:20 PM

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OVERTIME ENFORCEMENT

Type	<div>Roving Patrol Officers</div> <div>Roving Patrol Officers</div>
Avg. Hourly Rate	<div>\$70.00</div> *
Avg. Hours/Event	<div>4</div> *
No. of Officers	<div>1</div> *
No. of Events	<div>5</div> *
Total	\$1,400.00

The Montgomery Township Regional DUI Enforcement Team was established in 1993, to combat the serious problem of impaired driving and removing those drivers impaired by alcohol or drugs from the highways.

A multi-jurisdictional enforcement team consisting of police departments from Montgomery and Bucks Counties was then formed, with sustained enforcement operations then including sobriety checkpoints, roving DUI patrols, Cops in Shops underage drinking enforcement, and mobile DUI awareness patrols.

In the twenty two years of its existence, the Montgomery Township Regional DUI Enforcement Team has contacted over 63,000 motorists, and has made thousands of arrests for driving under the influence of alcohol and/or drugs. By removing these impaired drivers from the highways, the enforcement team has prevented an untold number of impaired driving crashes.

Training members of the team is essential for the efforts of the team to be successful. Officers in member departments are trained in sobriety checkpoint operations, standardized field sobriety testing (SFST), advanced roadside impaired driving enforcement (ARIDE), and evidentiary breath test operations. Members are kept current on case law pertaining to impaired driving enforcement.

GEOGRAPHICS

Agencies participating with the enforcement team are located in Montgomery and Bucks Counties, and both of these highly populated counties border the city of Philadelphia, which is the largest city in Pennsylvania, and the fifth most populated city in the United States.

Montgomery County has a population of 774,000 residents, and a land area of 483 square miles, while Bucks County has a population of 613,000 residents, and a land area of 607 square miles.

The following are those jurisdictions targeted for impaired driving enforcement:

Municipality	Area (square miles)	Population	# of Officers
Montgomery Twp	10.8	24,000	36
Horsham Twp	17.4	27,000	40
Hilltown Twp	28.0	18,000	18
New Britain Twp	15.0	12,000.	12
Warrington Twp	14.0	22,500	28
Warwick Twp	11.1	15,000	17

Each of these municipalities consist of residential, commercial and industrial areas, and each municipality has both local roads and state routes within their boundaries.

The following are those state routes that are located within the jurisdiction of the five member departments:

SR 0309	Bethlehem Pike
SR 0202	Dekalb Pike/Doylestown Road
SR 0063	Welsh Road
SR 0463	Horsham Road
SR 0152	Limekiln Pike
SR 2012	Upper State Road
SR 2038	County Line Road
SR 2202	Route 202 Parkway
SR 0611	Easton Road
SR 0132	Street Road
SR 2025	Bristol Road
SR 3003	Lower State Road
SR 2026	Blair Mill Road
SR 2007	Norristown Road
SR 0113	Souderton Pike
SR 0313	Dublin Pike
SR 4003	Dublin Road
SR 4008	Church Road
SR 4011	Hilltown Pike
SR 4013	Diamond Street
SR 4017	Callowhill Road
SR 4019	Minsi Trail
SR 4021	Blue School Road

SR 4085	Bethlehem Pike
SR 4089	Blooming Glen Road
SR 0263	York Road
SR 2089	Almshouse Road
SR 2113	Sugarbottom Road
SR 2079	Rushland Road
SR 2077	Mearns Road

Due to the large number of state routes existing within the jurisdiction of each participating department, high traffic volume is experienced on a daily basis, with each department encountering a high number of impaired drivers, and those crashes involving an impaired driver

While the emphasis on harsher punishments, stricter limitations, and national education has helped bring awareness to the problem of driving while under the influence, it still remains a leading cause of injury and death in the United States. It is estimated that one in three people will still be involved in a drunk driving crash in their lifetime, with drunk driving costing the United States tens of billions of dollars each year. Latest figures show that with over one million drivers being arrested in the United States for driving while under the influence of alcohol or drugs each year, driving while under the influence has one of the highest arrest rates among major crimes, and, driving while under the influence is the leading cause of criminal deaths. Each year, approximately one out of three traffic fatalities reported in the United States die in accidents where alcohol was a contributing factor. It is estimated that more than half a million people are injured every year in the United States, in crashes where alcohol is reported to be present.

In Pennsylvania, there were 52,636 drivers arrested for driving while under the influence in 2014, which is a decrease from the 54,121 drivers arrested for driving while under the influence in 2013. There were 1,195 traffic fatalities in Pennsylvania in 2014, with 333 of those being killed in alcohol-related crashes. Alcohol-related deaths accounted for 28 % of the total traffic deaths in Pennsylvania in 2014, which is less than those reported in 2010, 2011 and 2012. On an average day, there were 29 alcohol-related crashes in Pennsylvania in 2014, resulting in 0.9 persons being killed, and twenty people being injured. Although alcohol-related crashes accounted for only 9% of all crashes reported, they resulted in 28 % of all persons killed in crashes.

Of the 67 counties in Pennsylvania, Montgomery and Bucks Counties' combined population of 1,387,000 residents represent 11 % of Pennsylvania's total population, which is over twelve million people. With Bucks County being one of the top counties having the most miles of state highways within its borders, and both Montgomery and Bucks Counties being two of the top counties with the most miles of local roads, it is therefore not unusual that Montgomery and Bucks County combined for 10 % of the total number of arrests for driving while under the influence in Pennsylvania.

In 2014, 29 % of the total number of alcohol-related deaths occurred in only 6 of Pennsylvania's 67 counties, with Bucks County being identified as one of those counties (Bucks County had the fifth highest number of alcohol-related deaths in 2014). Montgomery County had the seventh highest number of alcohol-related deaths in Pennsylvania.

Just under half (49%) of alcohol-related fatal crash victims were the result of crashes occurring on Saturday and Sunday, while fatal crash victims of non-alcohol-related crashes tended to be distributed more evenly throughout the work week. The time period when most of the alcohol-related fatal traffic crashes occur is between 2000 and 0400 hours (62% of alcohol-related deaths). In contrast, under half of the deaths (48 %) from non-alcohol crashes resulted from crashes that occurred between noon and 2000 hours.

Drugged driving continues to increase, not only across the United States, but in Pennsylvania, as well. In 2014, Montgomery County had the third highest number of drug-related crashes, of the sixty-seven counties in Pennsylvania. Combined, Montgomery and Bucks County accounted for

12 % of the 3322 drug-related crashes in Pennsylvania. While drugged driving accounted for only 25 % of the total number of DUI arrests in 2010, the number of drug-impaired drivers arrested had risen to 39 % of the total number of DUI arrests in 2014.

The overall goal of the Montgomery Township Regional DUI Enforcement Team is to reduce the number of impaired drivers on the highways. This reduction in the number of impaired drivers will result in fewer crashes, and ultimately, fewer injuries and deaths related to these crashes.

This goal is attainable through a sustained campaign of education and aggressive enforcement.

Sobriety checkpoints are one way to educate the public about drinking and driving. Law enforcement is promoting the message through sobriety checkpoints that driving while impaired by alcohol and/or drugs is a serious matter, and that drivers who make the choice to drive while impaired face the risk of being arrested for their offense. The highly visible, and publicized, sobriety checkpoint serves as a deterrent to those drivers who pass through during its operation, and to those motorists who learn of the checkpoint through media outlets. Sobriety checkpoints may be especially useful in deterring underage drivers from drinking and then getting behind the wheel, as their threshold BAC for being arrested for DUI (.02) is much lower than that of an adult (.08). In 2014, 13% of driver deaths in Pennsylvania for those drivers aged sixteen to twenty years were drinking drivers. This is a decrease from 2013, when 18% of driver deaths in the sixteen to twenty year old age group were drinking drivers.

Sobriety checkpoints are not only an excellent way to raise the issue of drinking and driving with the public, they are an important part of a sustained enforcement campaign in removing impaired drivers from the road. Alcohol-impaired drivers can be hard to detect at lower BAC's, and often these impaired drivers are not apprehended until its too late.

Roving DUI patrols, or saturation patrols, are especially useful in areas where a sobriety checkpoint may not be able to be set up safely, but where increased patrols and DUI enforcement would be beneficial. Roving DUI patrols may also be useful when used in conjunction with a sobriety checkpoint operation, with attention directed at those roads located on the outer perimeter of the checkpoint operation.

Having already contacted over 63,000 motorists, to date, the objective of the Montgomery Township DUI Enforcement Team will be to contact another 2000 motorists. This objective can be accomplished through the use of sobriety checkpoints and saturation DUI patrols.

The Montgomery Township Regional DUI Enforcement Team believes that by targeting a specific geographical area with an aggressive DUI enforcement effort, accompanied with maintaining public interest and awareness in issues concerning driving while under the influence of alcohol and/or drugs, the goal of reducing the number of impaired drivers on the highways can be met.

SOBRIETY CHECKPOINT OPERATIONS

The team plans to conduct nine reduced manpower sobriety checkpoints. The objective of a sobriety checkpoint is to create the perception that apprehension of someone who is driving while under the influence is likely. Checkpoints involve the systematic stopping of vehicles in a pre-determined sequence, at a pre-determined location, to gain maximum visibility to the potential DUI offender, and enable officers to observe drivers for articulable facts and /or behaviors associated with alcohol and drug impairment. Location, day of the week, and time of operation is based upon alcohol-related crash data gathered from the Pennsylvania Department of Transportation , and alcohol-related crash data and arrest data from the jurisdiction where the checkpoint operation is being conducted. Each checkpoint operation will be for five hours, and include pre- and post-operational briefings, as well as set up and tear down time. Arrested persons will be transported for chemical testing, with lodging done per the standard operating procedures of the police department hosting the checkpoint operation. Each checkpoint will consist of thirteen officers, and include the positions of contact officer, cover officer, traffic control officer, forward observation officer, perimeter patrol officer, field testing officer, transportation officer, and other designated positions as may be deemed necessary for a successful checkpoint operation.

ROVING DUI PATROLS

The Enforcement Team plans on conducting five roving DUI enforcement patrols. The objective of the roving DUI patrol is to detect impaired drivers, and stop vehicles for traffic and equipment violations. The roving DUI patrols will be scheduled to maximize their visibility during the days, times of day, and holiday periods when high visibility enforcement efforts are essential to accomplishing the stated goal of the Team. Each roving DUI patrol operation will last four hours, and include one officer assigned.

The designated Impaired Driving Grant coordinator is Officer David Dunlap of the Montgomery Township Police Department. The grant coordinator will be responsible for the development of operational plans, site selection and preparation, manpower and assignments, research of data required to support the establishment of sobriety checkpoints, training of assigned personnel, selecting and maintaining equipment necessary for checkpoint operations, and fiscal management of the Impaired Driving Program. The coordinator is also responsible for the collection of data from each of the details that are conducted, which will then be submitted to the Alcohol Highway Safety Program manager and assistant manager on a timely basis. The grant coordinator will be required to attend training and conferences, for proper grant administration. The grant coordinator will work with the Chief of Police, or his designee, in the municipalities where operations are to be conducted. It is estimated that eight man hours will be required for each of the nine reduced manpower sobriety checkpoints that are planned, to properly perform the duties related to those operations. It is estimated that one man hour will be required for each of the five roving DUI enforcement patrols that are planned, for duties related to the details, such as planning, scheduling, and reporting.

MONTGOMERY TOWNSHIP BOARD OF SUPERVISORS
BOARD ACTION SUMMARY

SUBJECT: Consider Authorization for Emergency Repairs for Ladder 18

MEETING DATE: September 14, 2015

ITEM NUMBER: # 10

MEETING/AGENDA: ACTION XX NONE

REASON FOR CONSIDERATION: Operational: XX Policy: Discussion: Information:

INITIATED BY: Richard M. Lesniak
Director of Fire Services

BOARD LIAISON: Robert J. Birch, Supervisor
Liaison – Public Safety Committee

BACKGROUND:

While performing training department crew members noted an unusual noise coming from the area under the aerial turn table on Ladder 18. As a result the vehicle was removed from service and a call was placed to our maintenance vendor Glick Fire Equipment Company. Upon inspecting the turn table, Glick's serviceman determined that the water/hydraulic/electrical swivel needs to be replaced in order to place this vehicle back in service. The swivel is the main connection between the truck and the ladder which is inoperable in its current condition.

Glick Fire Equipment Company, Inc. has provided an estimate of \$20,384.00, dated 9/3/2015 to replace the swivel unit.

ZONING, SUBDIVISION OR LAND DEVELOPMENT IMPACT:

None.

PREVIOUS BOARD ACTION:

The Board of Supervisors approved the 2015 budget with \$35,000.00 budgeted for vehicle maintenance. The vehicle maintenance line item is over budget due to two other unscheduled repairs (brake drums and hydraulic outriggers) to Ladder 18 during 2015.

ALTERNATIVES/OPTIONS:

None.

BUDGET IMPACT:

Funding for this unbudgeted expense will require an amendment to the 2015 Fire Fund Vehicle Maintenance Line Item

RECOMMENDATION:

Given the fact that Ladder 18 is expected to serve Montgomery Township for at least the next seven (7) years, the Department recommends that the water/hydraulic/electrical swivel be replaced and that the Board of Supervisors approve the emergency repair to replace the water/hydraulic/electrical swivel on Ladder 18 at a cost of \$20,384.00 per the quote provide by Glick Fire Equipment Company Inc. dated 9/3/2015.

MOTION/RESOLUTION:

BE IT RESOLVED by the Board of Supervisors of Montgomery Township that we hereby approve the emergency repair to replace the water/hydraulic/electrical swivel on Ladder 18 at a cost of \$20,384.00 per the quote provide by Glick Fire Equipment Company Inc. dated 9/3/2015.

MOTION: _____ SECOND: _____

ROLL CALL:

Robert J. Birch	Aye	Opposed	Abstain	Absent
Candyce Fluehr Chimera	Aye	Opposed	Abstain	Absent
Jeffrey W. McDonnell	Aye	Opposed	Abstain	Absent
Joseph P. Walsh	Aye	Opposed	Abstain	Absent
Michael J. Fox	Aye	Opposed	Abstain	Absent

DISTRIBUTION: Board of Supervisors, Frank R. Bartle, Esq.

GLICK

FIRE EQUIPMENT CO.

350 Mill Creek Road, Bird-in-Hand, PA 17505
Phone: 717-299-4120 Fax: 717-299-4324
www.glickfire.com

BILL TO:

MONTGOMERY TWP DEPT OF FIRE SERVICES
ACCOUNTS PAYABLE
1001 STUMP ROAD
MONTGOMERYVILLE, PA 18936-9605

Customer ID: MONTTOWN

Service Estimate

Estimate Number: S0232096

Estimate Date: 09/03/2015

TRUCK INFO:

Truck Mfg. #: EONE124397

Unit ID: LADDER 18

Authorization: _____
Signature of Company Representative
Date: ____/____/____

Quantity	Part #	Part Description	Unit Cost	Extended Cost
1	LABOR-BAJR	LABOR FIELD WORK - Replace the water/hydraulic/electrical swivel.	\$20,384.17	\$20,384.17

Sub Total: \$20,384.17

Tax: \$0.00

Balance Due: \$20,384.17

TERMS: NET 15; FOB BIRD IN HAND, PA; SERVICE ESTIMATE VALID FOR 30 DAYS

Thursday, September 03, 2015

Page 1 of 1

MONTGOMERY TOWNSHIP BOARD OF SUPERVISORS
BOARD ACTION SUMMARY

SUBJECT: Consider Approval of ACA Reporting Requirement – DVIT Agreement

MEETING DATE: September 14, 2015

ITEM NUMBER: **# 11**

MEETING/AGENDA:

ACTION XX

NONE

REASON FOR CONSIDERATION: Operational: XX Policy: Discussion: Information:

INITIATED BY: Shannon Drosnock & Ann Shade

Finance Director, Director of Administration & HR

BOARD LIAISON: Michael J. Fox, Chairman

BACKGROUND:

As part of the terms under the Affordable Care Act (ACA), employers who meet certain parameters of the ACA may be required to report specific data regarding their plans to the Internal Revenue Service (IRS) via forms 6055 and 6056. Montgomery Township meets the requirements to report as the Township is a large employer who offers minimum essential health coverage to eligible individuals during a calendar year. The required forms for the 2015 calendar year must be filed no later than March 31, 2016. The information that is reported results in a statement being provided to each Montgomery Township health care participant.

To assist municipalities with this reporting requirement, Delaware Valley Health Trust (DVHT) is recommending and is offering, free of charge, an Employer Reporting Service, subject to the terms of the attached Subscription Agreement. This Agreement has been reviewed by the Township Solicitor.

ZONING, SUBDIVISION OR LAND DEVELOPMENT IMPACT:

None.

PREVIOUS BOARD ACTION:

None.

ALTERNATIVES/OPTIONS:

None.

BUDGET IMPACT:

None.

RECOMMENDATION:

It is recommended that the Board of Supervisors of Montgomery Township approve the ACA Employer Reporting Service Subscription Agreement, offered through Delaware Valley Health Trust, free of charge.

MOTION/RESOLUTION:

BE IT RESOLVED by the Board of Supervisors of Montgomery Township that we hereby approve the ACA Employer Reporting Service Subscription Agreement, offered through Delaware Valley Health Trust, free of charge.

MOTION: _____

SECOND: _____

ROLL CALL:

Robert J. Birch	Aye	Opposed	Abstain	Absent
Candyce Fluehr Chimera	Aye	Opposed	Abstain	Absent
Jeffrey W. McDonnell	Aye	Opposed	Abstain	Absent
Joseph P. Walsh	Aye	Opposed	Abstain	Absent
Michael J. Fox	Aye	Opposed	Abstain	Absent

DISTRIBUTION: Board of Supervisors, Frank R. Bartle, Esq.



Subscription Agreement **ACA Employer Reporting Service**

The undersigned, on behalf of _____, which is a public
[Print Name of Participating Public Employer]

employer participating in the Delaware Valley Health Trust ("Health Trust Member"), hereby subscribes to the Section 6055 and 6056 reporting service provided through the Health Trust to facilitate compliance with the reporting requirements under Sections 6055 and 6056 of the Internal Revenue Code of 1986, as amended (the "ACA Employer Reporting Service"). The required IRS Forms must be filed for the 2015 calendar year by no later than March 31, 2016.

The Health Trust Member understands and agrees that its participation in this ACA Employer Reporting Service is optional and will be provided only if the Health Trust Member maintains medical coverage through the Health Trust for at least 75 percent (75%) of the employees who were enrolled on the last day of the calendar year to which the reporting relates and such coverage is maintained through March 31st of the year after the applicable calendar year (e.g., For the 2015 calendar year, such coverage must be maintained by the Health Trust Member through March 31, 2016 to receive the ACA Employer Reporting Service).

The Health Trust Member further understands and agrees that because the Health Trust has contracted with a third party vendor to provide the ACA Employer Reporting Service, the Health Trust is acting solely as an intermediary and makes no warranties (express or implied) and disclaims all responsibility with respect to the accuracy, completeness and timeliness of the IRS Forms that will be prepared and filed on behalf of the Health Trust Member by the third party vendor. While the Health Trust will assume all costs to provide the ACA Employer Reporting Service, the Health Trust Member agrees to assume complete and sole responsibility for the accuracy and completeness of the information submitted to the Health Trust required to satisfy the Section 6055 and 6056 reporting requirements and will hold the Health Trust harmless with respect to such reporting, including any penalties which may result from inaccurate or untimely filings. The Health Trust Member agrees to fully cooperate with the Health Trust, which shall assist the Health Trust Member in communicating employee health plan enrollment information required by the ACA Employer Reporting Service vendor. Failure of the Health Trust Member to do so may adversely affect the accuracy and timeliness of the IRS Forms prepared and filed by the ACA Employer Reporting Service vendor.

This Subscription Agreement shall be limited to the preparation and filing of the IRS Forms required to comply with the Section 6055 and 6056 reporting requirements for the 2015 calendar year and shall remain in effect for each successive calendar year thereafter until terminated by the Health Trust or the Health Trust Member upon providing written notice of termination at least one hundred twenty (120) days before the end of the calendar year to which the Section 6055 and 6056 reporting relates.

In exchange for good and valuable consideration, the receipt and the sufficiency of which are hereby acknowledged, and intending to be legally bound, the Health Trust Member hereby executes this Subscription Agreement as shown below.

Authorized Signatory on behalf of Health Trust Member

Printed Name

Date

MONTGOMERY TOWNSHIP BOARD OF SUPERVISORS
BOARD ACTION SUMMARY

SUBJECT: Consider Change to Actuarial Assumptions for Police Pension Plan

MEETING DATE: September 14, 2015

ITEM NUMBER: **#12**

MEETING/AGENDA:

ACTION

NONE

REASON FOR CONSIDERATION: Operational: Policy:xx Discussion: Information:

INITIATED BY: Shannon Q. Drosnock
Finance Director

BOARD LIAISON: Jeffrey W. McDonnell, Supervisor
Liaison – Pension Committee

BACKGROUND:

In accordance with Act 205 of the Legislature, the Township is required to prepare an Actuarial Valuation report on a bi-annual basis for the Police Pension Plan which reports on the financial solvency of the plan. The Township contracts with Conrad Siegel Actuaries to provide the actuarial analysis and recommendations of the plan and prepare the valuation.

The Actuarial Valuation report is based upon assumptions that the Township, in conjunction with their actuary (Conrad Siegel), determine for the plan including the interest rate assumption and the wage projection assumptions. These rates are currently set at 8% and 6%.

In order to finalize the 1/1/2015 report, the Township needs to confirm the rate assumption. Given the market environment of the past decade, it is a prudent time to review these assumptions and potentially make changes.

The Township Actuary is recommending changes to the rate assumptions based on the following results and analysis of the plan and market environment:

- The current interest rate assumption of 8% is currently under scrutiny in public sector pension plans and is considered rather high in today's market environment with such low interest rates on bonds.
- The current wage assumption of 6% is rather high in today's environment where the average wage range for plans is 5%- 6%. Reducing the rate assumption to 5.5% is reasonable and would put the Montgomery Township plan in the middle of the average range of defined benefit plans.
- The two rate assumption changes combined would create an increase to the annual cost of the plan by \$100,000. The healthy market returns in the plan in 2013 (19.6%) and 2014 (6.7%) create a reduction of \$100,000 to the annual cost of the plan.
- Given that the assumption changes seem prudent in the current environment, it stands to reason that the changes should be made at the same time the investment gain occurs in the plan creating an almost net neutral effect on the plan.

The Township's annual cost to the plan is referred to as the MMO (Minimum Municipal Obligation). The MMO will increase by approximately \$20,000 per year due to increasing payroll exclusive of any other changes. If the Board approves the actuary's recommendation to the assumption changes, the estimated MMO for 2016 would be \$770,000 and for 2017 \$785,000.

The State Aid for the Police Pension Plan is approximately \$250,000 per year.

ZONING, SUBDIVISION OR LAND DEVELOPMENT IMPACT:

None.

PREVIOUS BOARD ACTION:

The Board confirmed the assumption rates of 8% (investment rate) and 6% (wage rate) in 2006.

ALTERNATIVES/OPTIONS:

Maintain the current assumptions in the plan.

BUDGET IMPACT:

The 2016 budget has not been approved.

RECOMMENDATION:

Staff has reviewed the recommended changes internally as well as with the Plan's Investment Advisor and agrees with the Actuary's recommendation to reduce both the investment rate and the wage rate assumptions.

MOTION/RESOLUTION:

BE IT RESOLVED by the Board of Supervisors of Montgomery Township that we hereby accept Conrad Siegel Actuaries' recommendation to changes to the actuarial assumptions for the January 1, 2015 valuation report. The recommended assumption changes are:

Interest Rate assumption change from 8% to 7.5%
And
Wage Rate assumption change from 6% to 5.5%.

MOTION: _____ SECOND: _____

ROLL CALL:

Robert J. Birch	Aye	Opposed	Abstain	Absent
Candyce Fluehr Chimera	Aye	Opposed	Abstain	Absent
Jeffrey W. McDonnell	Aye	Opposed	Abstain	Absent
Joseph P. Walsh	Aye	Opposed	Abstain	Absent
Michael J. Fox	Aye	Opposed	Abstain	Absent

DISTRIBUTION: Board of Supervisors, Frank R. Bartle, Esq.

MONTGOMERY TOWNSHIP POLICE PENSION PLAN

I hereby accept **Conrad Siegel Actuaries'** recommendation to changes to the actuarial assumptions for the January 1, 2015, valuation report. The recommended assumption change is detailed below:

	<u>Prior Assumption</u>	<u>Recommended Assumption</u>
Interest Rate	8.0%	7.5%
Salary Increases	6.0%	5.5%

Township Representative: _____
Signature

Print Name

Title

Date

Please return this form as soon as possible to:

Conrad Siegel Actuaries
Attn: Thomas L. Zimmerman, F.S.A.
501 Corporate Circle
P.O. Box 5900
Harrisburg, PA 17110-0900
thomaszimmerman@conradsiegel.com

MONTGOMERY TOWNSHIP BOARD OF SUPERVISORS
BOARD ACTION SUMMARY

SUBJECT: Consider Approval of Change Order #2- Accessible Playground & Spray Park

MEETING DATE: September 14, 2015

ITEM NUMBER: **# 13.**

MEETING/AGENDA:

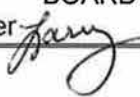
ACTION

NONE

REASON FOR CONSIDERATION: Operational: xx Policy: Discussion: Information:

INITIATED BY: Stacy Crandell

BOARD LIAISON: Michael J. Fox, Chairman

Assistant to the Township Manager 

BACKGROUND:

The contract for the Accessible Playground & Spray Park was awarded in April to Stoneridge, Inc. based on their low bid of \$883,870.00. The project is currently under construction and it was brought to our attention that more fencing is recommended to further enclose and protect the play area from the parking lot. The Township Engineer, Gilmore & Associates, Inc. has recommended additional fencing along the landscaping bed near the parking lot and a gate near the walking trail. The Township will also be installing a collapsible bollard at the entrance of the park between the handicap spaces to prevent vehicles from entering the area but still allowing maintenance and emergency vehicles to enter if needed.

This additional fencing and gate were not included in the original scope of the project. A change order and cost proposal from Stoneridge, Inc. has been submitted for the additional work. The change order has been verified by Gilmore & Associates, Inc. The cost of the change order will be \$3,063.50, which will bring the total project cost to \$889,752.25.

ZONING, SUBDIVISION OR LAND DEVELOPMENT IMPACT:

None.

PREVIOUS BOARD ACTION:

None.

ALTERNATIVES/OPTIONS:

None.

BUDGET IMPACT:

The cost of the change order will be \$3,063.50 bringing the project total to \$889,752.25. This project is funded in part with grant money from \$250,000 through the Commonwealth Financing Authority Department of Community and Economic Development's Greenways, Trails, and Recreation Program. The remaining funds will be paid by the Township.

RECOMMENDATION:

Township Staff recommends that the Board approve the change order as presented to Stoneridge, Inc. in the amount of \$3,063.50.

MOTION/RESOLUTION:

BE IT RESOLVED by the Board of Supervisors of Montgomery Township that we hereby approve the change order for additional fencing for the Accessible Playground & Spray Park Project at the Community and Recreation Center as presented by Stoneridge, Inc. in the amount of \$3,063.50.

MOTION: _____ SECOND: _____

ROLL CALL:

Robert J. Birch	Aye	Opposed	Abstain	Absent
Candyce Fluehr Chimera	Aye	Opposed	Abstain	Absent
Jeffrey W. McDonnell	Aye	Opposed	Abstain	Absent
Joseph P. Walsh	Aye	Opposed	Abstain	Absent
Michael J. Fox	Aye	Opposed	Abstain	Absent

DISTRIBUTION: Board of Supervisors, Frank R. Bartle, Esq.

CHANGE ORDER

No. 2

PROJECT:

DATE OF ISSUANCE

10-Sep-15

EFFECTIVE DATE

9/14/2015

OWNER: Montgomery Township

OWNER'S Contract No. **11-12019-02**CONTRACTOR: **Stoneridge, Inc.**

ENGINEER: Gilmore & Associates, Inc.

You are directed to make the following changes in the Contract Documents.

Description: Additional Fencing and Gate Installation

Reason for Change Order: Further enclosure / Protection from Parking Area

Attachments: Stoneridge's Request for Change Breakdown & Field Change Sketch

CHANGE IN CONTRACT PRICE:

Original Contract Price

\$ 883,870.00Net changes from previous Change Orders No. 1 to No. 1\$ 2,818.75

Contract Price prior to this Change Order

\$ 886,688.75

Net increase (decrease) of this Change Order

\$ 3,063.50

Contract Price with all approved Change Orders

\$ 889,752.25**CHANGE IN CONTRACT TIMES:**

Original Contract Times

Substantial Completion: -Ready for final payment: 15-Sep-15Net changes from previous Change Orders No. to No. 0 days

Contract Times prior to this Change Order

Substantial Completion: -Ready for final payment: 15-Sep-15

Net increase (decrease) of this Change Order

5 days

Contract Times with all approved Change Orders

Substantial Completion: -Ready for final payment: 20-Sep-15

RECOMMENDED:

By: 

Engineer (authorized signature)

Date: 9/10/15

APPROVED:

By: _____

Owner (authorized signature)

Date: _____

ACCEPTED:

By: _____

Contractor (authorized signature)

Date: _____

9

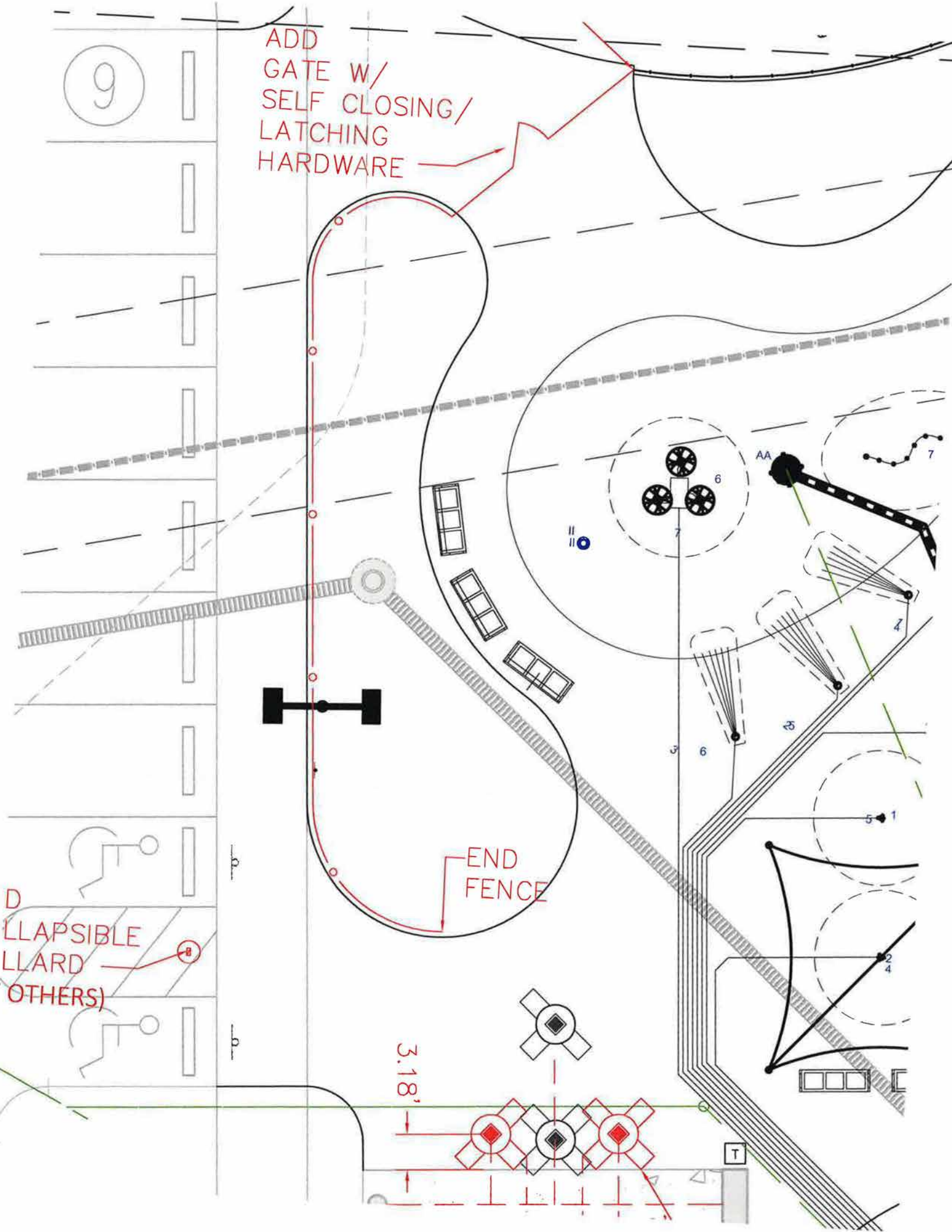
ADD
GATE W/
SELF CLOSING/
LATCHING
HARDWARE

END
FENCE

D
LLAPSIBLE
LLARD
(OTHERS)

3.18'

T



Request for Change: Bollard & Fencing
 Project: Montgomery Township Spray Park

MATERIAL

Quantity	Unit	Description	Price	Total Price
1	Ea.	TrafficGuard Bollard	\$ 742.00	\$ 742.00
4	Ea.	Anchors	\$ 15.98	\$ 63.92
		Sub-Total		\$ 805.92
		6% Sales Tax (tax exempt public entity)		\$ -
		Sub-Total		\$ 805.92
		10% General Superintendence, Overhead & Profit		\$ 80.59
		Total Material		\$ 886.51

LABOR

Quantity	Unit	Description	Price	Total Price
32	Hr.	Procure, Deliver & Install Above	\$ 50.55	\$ 1,617.60
4	Hr.	Estimating Change Orders	\$ 75.00	\$ 300.00
		Sub-Total		\$ 1,917.60
		7.65% Social Security		\$ 146.70
		11.356% Unemployment Insurance		\$ 217.76
		13.60% Workmens Compensation Insurance		\$ 260.79
		3.25% Public Liability Insurance		\$ 62.32
		Sub-Total		\$ 2,605.17
		15% General Superintendence, Overhead & Profit		\$ 390.78
		Total Labor		\$ 2,995.95

EQUIPMENT RENTAL

Quantity	Unit	Description	Price	Total Price
2	Hr.	Hammer Drill & Bits	\$ 15.00	\$ 30.00
		Sub-Total		\$ 30.00
		6% Sales Tax (tax exempt public entity)		\$ -
		Sub-Total		\$ 30.00
		10% General Superintendence, Overhead & Profit		\$ 3.00
		Total Equipment Rental		\$ 33.00

SUBCONTRACTOR

Quantity	Unit	Description	Price	Total Price
1	L.S.	Fence Installation	\$2,785.00	\$ 2,785.00
		Sub-Total		\$ 2,785.00
		10% General Superintendence, Overhead & Profit		\$ 278.50
		Total Subcontractor		\$ 3,063.50

SUMMARY

Material	\$ 886.51
Labor	\$ 2,995.95
Equipment Rental	\$ 33.00
Subcontract	\$ 3,063.50
Sub-Total	\$ 6,978.96
2.5% Bond Costs	\$ 174.47
Total Proposal	\$ 7,153.44

Randolph Seitter, V.P.
 Contractor's Signature

9/10/2015
 Date

MONTGOMERY TOWNSHIP BOARD OF SUPERVISORS
BOARD ACTION SUMMARY

SUBJECT: Consideration - Preliminary/Final Land Development Plan – 1701 N. Line Street –
Del Ciotto – LDS #680

MEETING DATE September 14, 2015

ITEM NUMBER: **# 14.**

MEETING/AGENDA:

WORK SESSION

ACTION XX

NONE

REASON FOR CONSIDERATION: Operational: Information: Discussion: XX Policy:

INITIATED BY: Bruce Shoupe

Director of Planning and Zoning

BOARD LIAISON: Michael J. Fox

Chairman

BACKGROUND:

The property is a developed 31,242 sq. ft. parcel at 1701 N. Line Street, at the intersection with Rosewood Drive. The site currently contains a duplex, a detached garage, shed and a paved driveway accessing N. Line Street. The parcel is within the R-2 Residential District. The applicants propose to subdivide the property into two parcels containing net areas of 16,573 sq. ft. and 14,744 sq. ft. An existing structure on Lot 1 is to be restored to a single-family dwelling unit and an existing garage is to be demolished.

The applicants were granted a variance from the Zoning Hearing Board on September 5, 2014. A copy of the Opinion and Order is attached.

The Township staff and consultants have reviewed this plan for compliance with Township Codes. Copies of the review letters are attached.

ZONING, SUBDIVISION OR LAND DEVELOPMENT IMPACT:

The Applicant executed an indefinite extension form, which allows unlimited review time by the Township, unless a notice is received from the Applicant that a decision be rendered within 90 days by the Board of Supervisors.

PREVIOUS BOARD ACTION:

None

ALTERNATIVES/OPTIONS:

The Board could deny this plan or approve this plan with the conditions as outlined in the attached resolution.

BUDGET IMPACT:

None.

RECOMMENDATION:

The resolution be adopted by the Board of Supervisors.

MOTION/RESOLUTION:

The Resolution is attached. (The Chairman needs to read only the highlighted portions of the resolution.)

MOTION _____

SECOND _____

ROLL CALL:

Robert J. Birch	Aye	Opposed	Abstain	Absent
Candyce Fluehr Chimera	Aye	Opposed	Abstain	Absent
Jeffrey W. McDonnell	Aye	Opposed	Abstain	Absent
Joseph P. Walsh	Aye	Opposed	Abstain	Absent
Michael J. Fox	Aye	Opposed	Abstain	Absent

DISTRIBUTION: Board of Supervisors, Frank B. Bartle, Esq.

RESOLUTION #

MONTGOMERY TOWNSHIP

MONTGOMERY COUNTY, PENNSYLVANIA

**A RESOLUTION GRANTING CONDITIONAL PRELIMINARY/FINAL APPROVAL OF
THE APPLICATION FOR MINOR SUBDIVISION FOR JOSEPH AND YVONNE
DEL CIOTTO, LOCATED AT 1701 N. LINE STREET - LDS#680**

The Board of Supervisors of Montgomery Township, Montgomery County, Pennsylvania, hereby resolves to grant conditional, preliminary/final approval of the land development application and plan for **Joseph and Yvonne Del Ciotto, located at 1701 N. Line Street**, as more fully detailed on the plans listed on Exhibit "A" attached hereto and made part hereof and further conditioned upon the following being satisfied by the Applicant prior to the recording of the final plan:

1. Fulfilling all obligations and requirements of Gilmore & Associates, Inc. letter dated January 22, 2015; Boucher & James, Inc. letter dated January 6, 2015, December 17, 2014; Montgomery Township Planning Commission comments dated February 19, 2015; Montgomery County Planning Commission comments dated January 7, 2015; Township Zoning Review dated February 16, 2015; Fire Marshal Review dated August 5, 2015.
2. The Applicant shall enter into a Land Development Agreement and post financial security for all public improvements to the satisfaction of the Township Engineer and Township Solicitor for each phase of this development. As used herein, the term "public improvements" shall include, but shall not be limited to, streets, parking areas, drive aisles, curbs, water mains, sanitary sewer pipes, manholes and appurtenances thereto, storm water facilities, rain gardens (best management practice) and appurtenances, grading, erosion and sediment control, lighting, required trees, shrubs and landscape buffering, monuments, pins and sidewalks. The record plan shall indicate phasing if required. Public improvements shall require financial security be posted in the amount of 15% of the total public improvement cost, regardless of whether such public improvements are dedicated to the Township, for a period not less than 18 months after Township Engineer approval. If the end of maintenance period for trees and other plantings ends outside the time period specified in 205-49, the maintenance period shall be extended to comply with this requirement and the appropriate financial security shall be provided to the satisfaction of the Township Solicitor.
3. The Applicant shall satisfy the requirements of all Montgomery Township Codes, the Montgomery Township Municipal Sewer Authority and North Wales Water Authority. A copy of the Authorities' permits and/or agreements from the above must be provided to the Township.

4. The Applicant shall be responsible for payment of all Township Consultant fees related to this project.
5. The Applicant shall be responsible for obtaining all other Regulatory Authority Permits having jurisdiction over this project.
6. All future development of this parcel shall be subject to new application and approval by the Board of Supervisors.
7. All storm water inlets and outfall structures shall be identified in accordance with the PADEP Municipal Separate Storm Sewer Systems requirements if required.
8. The Applicant acknowledges that Section 205-116 of the SALDO provides for the payment of a fee in lieu of the dedication of parkland for park and recreation purposes. This **\$2000.00** fee must be paid upon submission of an application for a building permit on the new lot created. A note shall be placed on the plan.
9. The Applicant shall execute the required Storm water Management Facilities Maintenance and Monitoring Agreement and Landscaping Declaration of Covenants and Restriction for its benefit and its successors and assigns
10. The Applicant shall comply with the Declaration of Covenants recoded on April 14, 2015.
11. A note shall be placed on the record plan and the building permit issued for Lot #2 that required landscaping shall be installed prior to the final building inspection and the issuance of the Certificate of Occupancy for Lot #2.
12. The Applicant agrees to comply with Section 205-85 of the SALDO code.
13. The applicant must comply with the Zoning Hearing Board Opinion and Order dated September 5, 2014.

BE IT FURTHER RESOLVED that the following waivers are granted to the extent that they concur with the recommendation of the consultants:

1. Section 205-22.A – the requirement that sidewalks be installed. The applicant has requested that sidewalks not be installed along Rosewood Drive as there are no sidewalks presently located in the neighborhood. *(This is discretionary on the part of the Board of Supervisors.)*
2. Section 205-87.B(10) – the requirement from providing the locations and dimensions of streets, utilities, building, etc. within 400 feet of the site. *(The consultants have no objection to this waiver.)*

3. Section 205-52.B – the requirement for softening buffer. The applicant feels that they cannot install the required amount of landscaping on site. They will provide 2 shade trees, 6 evergreen trees and 22 shrubs. A waiver is required for the remaining shade trees and shrubs. *(The consultants have no objection to this waiver provided that the trees are planted in another Township location or a fee in lieu of the required landscaping be submitted. The consultants have no objection to this, however the proposed evergreens should be counted as equivalent to 3 shade trees as described in Section 205:A1 Note 1.)* **25 Shade Trees x \$350 = \$8,750 and 38 shrubs x \$65 = \$2,470.**
4. Section 206-14.C(5)(b) – A minimum of 0.2 in/hr infiltration rate (including 50% safety factor) is acceptable for design purposes. An infiltration rate of 0.16 in/hr was measured in the field and a rate of 0.14 in/hr is used for design. A waiver is required to allow the lower infiltration rate for design. *(The consultants have no objection to this waiver whereas the minimum infiltration rate per PADEP guidance is 0.1 in/hr.)*

This Resolution shall become effective on the date upon which all of the above stated conditions are accepted by the Applicant in writing. If, for any reason, the Applicant fails to acknowledge the acceptance of the conditions contained in this Resolution within ten (10) days from the date of this Resolution, then the Preliminary/Final Plan approval granted herein shall become null and void, the waivers requested shall be deemed denied, and the plan shall be denied for failure to comply with Sections of the Township Zoning Ordinance and/or Township Subdivision and Land Development Ordinance for the reasons cited herein or as set forth in the letters referenced herein.

DULY PRESENTED AND ADOPTED by the Board of Supervisors of Montgomery Township, Montgomery County, Pennsylvania, at a public meeting held this _____ day of _____, 2015.

MOTION BY:

SECOND BY:

VOTE:

The above conditions are agreed to by the applicant this _____
day of _____, 2015.

Applicant Signature

EXHIBIT "A"

PLANS-STUDIES

<u>DESCRIPTION</u>	<u>ORIGINAL DATE</u>	<u>REVISED DATE</u>
1. Minor Subdivision Plan	12-18-14	6-15-15
2. Grading, Soil, Erosion, Utility, Demo Plan	12-18-14	6-15-15
2.1 Existing Landscaping Plan	3-10-15	6-15-15
2.2 Proposed Landscaping Plan	3-10-15	6-15-15
3. Site Construction Details	12-18-14	6-15-15



309 N. Sumneytown Pike • North Wales, PA 19454
Phone: 215.699.6901 • Fax: 215.699.6912
www.delciottoarchitects.com

February 18, 2015

Lawrence Gregan, Township Manager
Montgomery Township
1001 Stump Road
Montgomeryville, PA 18936

Dear Mr. Gregan:

With regard to LD/S # 680 minor [2] lot subdivision at 1701 N. Line Street, I request a few landscape and planning waivers.

Landscaping:

Partial relief is necessary from section 205-52.B for the softening buffer requirement. The ordinance requires 30 shade trees and 60 shrubs. It is physically impossible to install all of the landscaping required. In addition to the other required landscaping, the best softening buffer that can be provided is [2] shade trees, [6] evergreen trees, and [22] shrubs. Therefore, I need a waiver for [22] shade trees and [38] shrubs.

Planning:

By copy of this letter to Mr. Bruce S. Shoupe, a waiver is requested from the sections listed below.

Section 205-22; There are no sidewalks along Rosewood Drive and the rest of the existing mature development. Therefore, I request a waiver to not provide sidewalk on the new lot along Rosewood Drive. The original parcel has sidewalk along the Line Street frontage and again I request a waiver from providing sidewalk along the Rosewood side.

Section 205-87.B [10]; I request a waiver from providing the locations and dimensions of street, utilities, buildings, etc. within 400 feet of any part of the property.

Think Design,

A handwritten signature in dark ink, appearing to read "Joe Del Ciotto, Jr.", followed by a horizontal line and the letters "AIA".

Joseph J. Del Ciotto, Jr., AIA
President

Copy: Bruce S. Shoupe
FILE: DCA\1701\ WAIVER REQUEST 02182014

Marita A. Stoerrle

From: Valerie Liggett <vliggett@bjengineers.com>
Sent: Thursday, February 19, 2015 2:07 PM
To: Marita A. Stoerrle
Subject: RE: 1701 N. Line Street - Waiver Requests

Marita;

Here is our waiver response for 1701 N. Line St;

Waiver request letter, 2/18/15

"Partial relief is necessary from section 205-52.B for the softening buffer requirement. The ordinance requires 30 shade trees and 60 shrubs. It is physically impossible to install all of the landscaping required. In addition to the other required landscaping, the best softening buffer that can be provided is (2) shade trees, (6) evergreen trees, and (22) shrubs. Therefore, I need a waiver for (22) shade trees and (38) shrubs."

We have no objection to the waiver request, provided the missing trees are planted elsewhere in the Township or a fee-in-lieu is provided. As the applicant has made a commitment to a neighbor to plant evergreen trees, we have no objection to the use of evergreen trees within the softening buffer where normally they would not be permitted. However, the trees should be counted at the 2:1 evergreen to shade tree ratio specified in other areas of the SLDO. Therefore, a total of (25) shade trees and (38) shrubs should be provided elsewhere or a fee-in-lieu should be provided.

25 shade trees x 350 = \$8,750

38 shrubs x 65 = \$2,470

Total: \$11,220



Valerie L. Liggett, ASLA, R.L.A.
ISA Certified Arborist®
Planner / Landscape Architect
Boucher & James, Inc.

1456 Ferry Road
Doylestown, PA 18901
E-mail: vliggett@bjengineers.com
Internet: www.bjengineers.com
Tel: 215-345-9400 - Fax: 215-345-9401

This message contains confidential information and is intended for the above recipient. If you are not the intended recipient you are notified that disclosing, copying, distributing or taking any action in reliance on the contents of this information is strictly prohibited. E-mail transmission cannot be guaranteed to be secure or error-free as information could be intercepted, corrupted, lost, destroyed, arrive late or incomplete, or contain viruses. The sender therefore does not accept liability for any errors or omissions in the contents of this message, which arise as a result of e-mail transmission. If verification is required please request a hard-copy version.

**IN AND BEFORE THE ZONING HEARD BOARD OF
MONTGOMERY TOWNSHIP
MONTGOMERY TOWNSHIP, PENNSYLVANIA**

**APPEAL NO. 14070002
APPLICATION OF JOE DEL CIOTTO, JR. & H. YVONNE DEL CIOTTO
FOR A VARIANCE FROM MONTGOMERY TOWNSHIP ZONING
ORDINANCE §230-33 RELATED TO BUILDING COVERAGE IN THE R-2
RESIDENTIAL DISTRICT**

OPINION AND ORDER

Pursuant to proper legal advertisement in Montgomery Newspapers on July 21 and July 28, 2014, a public hearing was held on Tuesday, August 5, 2014 commencing at 7:30 p.m. at the Montgomery Township Administration Building, 1001 Stump Road, Montgomeryville, Pennsylvania.

Present for the Zoning Hearing Board at the hearing were Kenneth Souder, Chairman, Lawrence Poli, Vice Chairman, Edward Diasio, Secretary and L. Vincent Roth, Alternate Member. Mary Kay Kelm, Esquire was present as the Solicitor for the Zoning Hearing Board. George Ditter, Esquire represented the Applicants. Also present at the hearing were Bruce S. Shoupe, Director of Planning and Zoning for Montgomery Township and Marianne J. McConnell, Deputy Zoning Officer of Montgomery Township. At the hearing, the Notes of Testimony were taken and transcribed by Julie Leva, an Official Court Reporter.

EXHIBITS

The following documents were marked for admission into evidence as follows:

- A-1 Plan submitted with Application
 - A-2 Revised subdivision plan

 - B-1 Proof of Publication dated July 21 & July 28, 2014
 - B-2 Posting of Hearing Notice dated July 25, 2014
-

FINDINGS OF FACT

1. The subject property is located at 1701 North Line Street, Montgomery Township, Montgomery County, Pennsylvania and consists of a nonconforming duplex residence on a 31,242 square foot lot with a detached garage (hereinafter the "Property").
2. The applicants and owners of the property are Joe and H. Yvonne Del Ciotto, husband and wife. They acquired the property from wife's cousin (N.T. p. 6).
3. The zoning classification for the property is R- 2 residential.
4. The residence was converted to a duplex in the 1950's and contains a first floor apartment and second floor apartment. It contains no interior staircase, but has a fire escape on the exterior. (N.T., p. 6).
5. The applicants propose to create two lots from the existing one. (N.T., p. 7).
6. The applicants propose to convert the duplex back into a single family residence on lot 1 (N.T., p. 10), and demolish the existing detached garage so that setback lines could be met. (N.T., p. 8).
7. Proposed lot 2 would accommodate a newly constructed 3,000 square foot house with a 480 square foot garage driveway entering from Rosewood Drive. (N.T., p. 8).
8. Minimum lot size for the R-2 residential district is 20,000 square feet.
9. For proposed lot 1, the applicants proposed to keep the existing nonconforming structure, but lacked square footage since the lot would be 16,573 square feet. (N.T., p. 9 and A-2).
10. For proposed lot 2, the applicants were also lacking in gross area, since the square footage of the lot was proposed to be 14,744 square feet. (N.T., p.9-10 and A-2).

11. The applicants were willing to enter into a restrictive covenant to the benefit of the Township, in form acceptable to its solicitor, extinguishing the duplex use and providing for the use of each of the two proposed lots for single family dwellings.

CONCLUSIONS OF LAW

12. The Applicants requested that the ZHB provide the requested relief by variance.

13. The Zoning Hearing Board found the evidence presented to be credible, the extinguishment of the duplex use preferable, and the requested requests to lot size to be *de minimis*.

14. The Zoning Hearing Board found the proposed subdivision would be in conformity with the residential character of the neighborhood and that it would not impair the appropriate use of the property.

15. The Zoning Hearing Board found the proposed dimensional variance represented the minimum variances that would afford relief and were not contrary to the public safety.

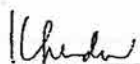
16. The Zoning Hearing Board grants the Applicants' request for a variance from the Montgomery Township Zoning Code Section 230-33A to permit subdivision of the parcel into two lots with less than 20, 000 square feet gross area.

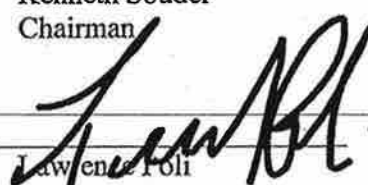
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ORDER

AND NOW, this 5th day of September, 2014, the Zoning Hearing Board of Montgomery Township hereby grants a variance to Joe and H. Yvonne Del Ciotto from the requirements of Montgomery Township Zoning Code Sections 230-33A . The variance: granted herein are also subject to Applicants' strict compliance with the representations made at the hearing and contained in the Application for a Variance. The variances are further conditioned upon Applicants entering into a restrictive covenant for the benefit of the Township extinguishing the duplex use on the property in favor of two single family dwellins.

**MONTGOMERY TOWNSHIP
ZONING HEARING BOARD**

By: 
Kenneth Souder
Chairman

By: 
Lawrence Foli
Vice Chairman

By: 
Edward Diasio
Secretary



RECORDER OF DEEDS
MONTGOMERY COUNTY
Nancy J. Becker

One Montgomery Plaza
Swede and Airy Streets ~ Suite 303
P.O. Box 311 ~ Norristown, PA 19404
Office: (610) 278-3289 ~ Fax: (610) 278-3869

DEED BK 5951 PG 01932 to 01935
INSTRUMENT # : 2015028973
RECORDED DATE: 04/28/2015 02:00:19 PM



3195290-0012P

RECEIVED

MAY 01 2015

MONTGOMERY TOWNSHIP

MONTGOMERY COUNTY ROD

OFFICIAL RECORDING COVER PAGE

Page 1 of 4

Document Type: Deed Miscellaneous
Document Date: 04/14/2015
Reference Info:

Transaction #: 3198813 - 1 Doc(s)
Document Page Count: 3
Operator Id: dkrasley

RETURN TO: (Simplifile)
Dischell, Bartle & Dooley, PC
1800 Pennbrook Parkway, Suite 200
Lansdale, PA 19446
(215) 362-2474

PAID BY:
DISCHELL BARTLE & DOOLEY PC

*** PROPERTY DATA:**

Parcel ID #: 46-00-02416-00-4
Address: 1701 N LINE ST

Municipality: PA
Montgomery Township (100%)
School District: North Penn

*** ASSOCIATED DOCUMENT(S):**

CONSIDERATION/SECURED AMT: 0.00

FEES / TAXES:

Recording Fee: Deed Miscellaneous \$69.00

Total: \$69.00

DEED BK 5951 PG 01932 to 01935
Recorded Date: 04/28/2015 02:00:19 PM

I hereby CERTIFY that
this document is
recorded in the
Recorder of Deeds
Office in Montgomery
County, Pennsylvania.



Nancy J. Becker
Recorder of Deeds

PLEASE DO NOT DETACH

THIS PAGE IS NOW PART OF THIS LEGAL DOCUMENT

NOTE: If document data differs from cover sheet, document data always supersedes.

*COVER PAGE DOES NOT INCLUDE ALL DATA, PLEASE SEE INDEX AND DOCUMENT FOR ANY ADDITIONAL INFORMATION.

PREPARED BY AND RETURN TO:**GEORGE B. DITTER, ESQUIRE**

Id. No. 23199

298 Wissahickon Avenue

P.O. Box 1489

North Wales, PA 19454-1489

Tel. No. 215-855-9521

MONTGOMERY COUNTY COMMISSIONERS REGISTRY

46-00-02416-00-4 MONTGOMERY TOWNSHIP

1701 N LINE ST

DELCIOTTO JOSEPH J JR & H YVONNE

B 005C L 1 U 030 1132 04/28/2015

\$15.00

JU

TAX PARCEL NO. 46-00-02416-00-4**DECLARATION OF COVENANTS**

THIS DECLARATION made this 14 day of APRIL, 2015, by JOSEPH J. DEL CIOTTO, JR. and H. YVONNE DEL CIOTTO, residing at 201 Church Road, Lansdale, PA 19446 (the "Owners")

WITNESSETH, as follows:

WHEREAS, the Owners are the owners of certain premises situated at 1701 North Line Street, Lansdale, Montgomery Township, Montgomery County, Pennsylvania (the "Premises"), more particularly described in a Deed recorded in the Office of the Recorder of Deeds at Deed Book 5507, page 343, et seq., being Parcel No. 46-00-02416-00-4; and

WHEREAS, the Premises have a net lot area of 31,242 square feet; and

WHEREAS, there is situated on the Premises a duplex dwelling which exists as a legal non-conforming use under the Zoning Ordinance of the Montgomery Township (the "Zoning Ordinance"); and

WHEREAS, the Owners applied for dimensional variances from Zoning Hearing Board of Montgomery Township (the "Township") with respect to a proposed subdivision of the Premises into two lots each of which would have an area smaller than that required under the Ordinance; and

WHEREAS, the Owners propose to convert the existing duplex dwelling into a single family dwelling so that the net effect of the proposed subdivision would not result in a net increase in dwelling units; and

WHEREAS, the existing duplex is located on Lot # 1 of the proposed subdivision of the

Premises, which lot is to have an area of 16,573 square feet more or less; and

WHEREAS, the Zoning Hearing Board of the Township has granted conditional approval of the variance with one condition being the recording of this Covenant;

NOW, THEREFORE, We, the said Owners, for ourselves and the parties hereafter bound by this Covenant intending to be legally bound hereby, declare as follows:

1. RECONVERSION OF EXISTING DWELLING. The Owners hereby agree, upon and as a condition of the approval of the dimensional variances granted by the Zoning Hearing Board and as a condition of the subdivision of the Premises that after the proposed subdivision is finally approved and non-appealable and prior to any request for final inspection or the issuance of a use and occupancy permit for the dwelling on Lot #2, that the Owners agree to forever abandon and extinguish the duplex use as a non-conforming use on the Premises. Thereafter, they will not lease the duplex as two separate units and will convert and reconfigure the duplex for use as a single family dwelling in compliance with Township Code.

2. ENFORCEMENT. The Owners agrees that this covenant shall be enforceable by the Township by a suit in equity independent of any other enforcement powers the Township may have under its zoning or other ordinances, including seeking a decree requiring structural alterations to the Premises or such relief as the Township in its sole discretion may deem necessary to carry out the purposes hereof. The Owners further agree that, in the event of any such action to enforce the terms hereof, they shall reimburse and pay the Township's expenses, including reasonable attorneys' fees, for such action and that such expenses may be enforced by a lien against the Premises or the new lot created under any subdivision.

3. PERSONS AND PREMISES BOUND BY THIS AGREEMENT. This covenant, restriction, conditions, and provisions hereof shall bind the Owners, and all purchasers, lessees, users, mortgagees and lien holders, successors, assigns, heirs, administrators, executors or personal representatives of the Owners. The rights, covenants, restrictions, conditions, and provisions hereof

shall, at all times hereafter, be appurtenant to, affect and run with the Premises generally as a covenant running with the land.

4. RECORDING AND TERMINATION. This covenant shall be effective upon its execution and is intended by the parties to be recorded in the Office of the Recorder of Deeds of Montgomery County, Pennsylvania and shall remain effective until terminated by a suitable instrument of termination executed and acknowledged by the officers of the Township. Nothing herein shall be construed as prohibiting the Owners or their respective purchasers, lessees, users, mortgagees and lien holders, successors, assigns, heirs, administrators, executors or personal representatives of the Owners from seeking re-zoning of the Premises or from taking advantage of any change in the Zoning Ordinance which would permit some other use than that allowed hereunder or relief under the Zoning Ordinance to permit some other use of the Premises in the future.

IN WITNESS WHEREOF, the parties hereto intending to be legally bound hereby have caused this Declaration to be duly executed the day and year first above written.

Witness:

Lacie Cowley

Joseph J. Del Ciotto (Seal)
JOSEPH J. DEL CIOTTO, JR.

Witness:

Lacie Cowley

H. Yvonne Del Ciotto (Seal)
HYVONNE DEL CIOTTO

COMMONWEALTH OF PENNSYLVANIA:

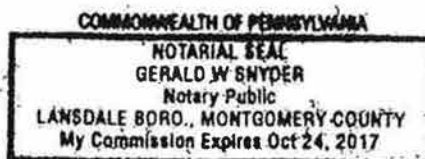
SS:

COUNTY OF MONTGOMERY

On this, the 14th day of April, 2015, before me, a Notary Public, the undersigned officer, personally appeared JOSEPH J. DEL CIOTTO, JR. and H. YVONNE DEL CIOTTO, who acknowledged themselves to be the owners of the premises at 1701 N. Line Street, Montgomery Township, Montgomery County, Pennsylvania, that they as such owners executed the foregoing **DECLARATION** for the purposes therein contained and desired the same might be recorded as such.

IN WITNESS WHEREOF, I have hereunto set my hand and official seal.

[Signature]





GILMORE & ASSOCIATES, INC.
ENGINEERING & CONSULTING SERVICES

August 5, 2015

File No. 2015-01024

Bruce S. Shoupe, Director of Planning and Zoning
Montgomery Township
1001 Stump Road
Montgomeryville, PA 18936-9605

Reference: Del Ciotto Subdivision - LD/S# 680
1701 N. Line Street
Tax Parcel #46-00-02416-00-4; Block 005C, Unit 004

Dear Bruce:

Pursuant to your request, Gilmore & Associates, Inc. has reviewed the minor subdivision plan for the above-referenced project and offers the following comments for consideration by the Montgomery Township Board of Supervisors:

I. SUBMISSION

- A. Response letter from Del Ciotto Architects, dated July 16, 2015.
- B. Site Construction Cost Estimate, prepared by Metz Engineers, Inc., dated July 16, 2015.
- C. Legal Description for Lots 1 & 2, prepared by Metz Engineers, Inc., dated April 15, 2015.
- D. Hatfield Township Municipal Authority (HTMA) letter dated May 11, 2015.
- E. North Wales Water Authority (NWWA) letter dated May 15, 2015.
- F. Subdivision Plan (Sheets 1, 2, 2.1, 2.2 & 3 of 5), prepared by Metz Engineers, Inc., dated December 18, 2014, last revised June 15, 2015.
- G. General Description and Stormwater Management Report, prepared by Metz Engineers, Inc., dated June 2015.

II. GENERAL

The subject property, within the Residential (R-2) Zoning District, is a developed 31,242 sq. ft. (net) parcel at 1701 N. Line Street, Lansdale, PA, at the intersection with Rosewood Drive. The site currently contains a duplex, a detached garage, shed and a paved driveway accessing N. Line Street. The lot is served by public sewer and water facilities. The Applicants, Joseph J. and H. Yvonne Del Ciotto, propose to subdivide the property into two parcels containing net areas of 16,573 sq. ft. and 14,744 sq. ft. The proposal includes improvements associated with a new single-family detached dwelling on Lot #2.

The Applicant appeared before the Zoning Hearing Board and was granted a variance from the requirements of Montgomery Township Zoning Ordinance section 230-33.A. Per the Order dated September 5, 2014 the variance is subject to the following:

1. Applicants' strict compliance with the representations made at the hearing and contained in the Application for a Variance.

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2. Applicants entering into a restrictive covenant for the benefit of the Township extinguishing the duplex use on the property.

The Applicants have requested waivers from the following sections of the Township Subdivision and Land Development Ordinance:

1. §205-22.A – Waiver to not install sidewalk along Rosewood Dr. We defer to the Board of Supervisors.
2. §205-52.B(2)(a) – Waiver to reduce the intensity of the landscaped softening buffer. We defer to the Township Landscape Consultant.
3. §205-87.B(10) – Waiver to not show facilities within 400 feet of any part of the property line. We support this waiver provided the applicants include an aerial photograph plan showing the proposed lots and improvements in relation to the adjacent properties.
4. §206-11.K – Waiver to extend the allowable dewatering of stormwater facility from 72 hours to 129 hours. Due to the use of underground seepage beds, we support this waiver request.

An additional is required as presently presented:

1. §206-14.C(5)(b) – A minimum of 0.2 in/hr infiltration rate (including 50% safety factor) is acceptable for design purposes. An infiltration rate of 0.16 in/hr was measured in the field and a rate of 0.14 in/hr is used for design. A waiver is required to allow the lower infiltration rate for design. We would support a waiver from this requirement. The minimum infiltration rate per PADEP guidance is 0.1 in/hr.

III. REVIEW COMMENTS

A. Zoning Ordinance

Based on our review, the following items do not appear to comply with the current Montgomery Township Zoning Ordinance. Upon further development of the plans, additional items may become apparent.

1. §230-31.A. – The existing (duplex) and proposed uses (single-family detached dwellings for both proposed lots) shall be included in the Zoning Tabulation table of Sheet 1 of 5. The existing use (duplex) shall be noted as a nonconforming use to be extinguished per ZHB Order (i.e. reference note #21). Both proposed lots appear to be a conforming use. The Zoning Data Table shall be revised or the non-conformity noted.
2. §230-33.A. – The Applicants were granted a variance from the minimum lot area requirement. The Zoning Officer shall verify the conditions of the variance, as presented on the plan, are per the ZHB Order (note 21, sheet 1 of 5).

B. Subdivision and Land Development Ordinance

Based on our review, the following items do not appear to comply with the current Montgomery Township Subdivision and Land Development Ordinance. Upon further development of the plans, additional items may become apparent.

1. §205-85. – The plan was submitted and reviewed as a minor subdivision.
2. §205-87.B(10) – The locations and dimensions of streets, utilities, buildings, etc. within 400 feet of any part of the property shall be included on the plan. The applicants have requested a waiver from this requirement. We support this waiver provided the applicants include an aerial photograph plan showing the proposed lots and improvements in relation to the adjacent properties.
3. §205-87.B(17) – The covenant regarding the conversion from a duplex to a single family dwelling shall be provided for review and approval by the Township Solicitor.

4. §205-17.A(1) – A detail meeting the pavement construction standards as well as the road excavation, backfill and restoration requirements of Montgomery Township Code Chapter 201 shall be provided on the plans (e.g. trench/road restoration detail including paving cross section and cut-backs).
5. §205-17.D(4) – Curbs shall be constructed in accordance with the standard design specifications set forth in Appendix A. The following shall be added to curb details.
 - a. Concrete shall be 4,000 psi, six-percent-minimum air entrained concrete with a minimum cement content of 564 pounds at a maximum 5-inch slump.
 - b. Expansion joints shall be placed every 40 ft.
 - c. Depressed curb shall be provided with two #4 reinforcing bars; one being located one inch from the surface, the other one inch from the bottom.
 - d. Aquaron 2000 sealing/curing, or approved equal, must be placed as soon as forms are removed.
 - e. Road restoration shall meet the road cross section standards of §205-17.A(1), including 3 inches 2A, 5 inches superpave 25mm and 1.5 inches superpave 9.5mm.
6. §205-19.A – The HTMA has indicated that sewer capacity is available. However, per PADEP, use of the capacity is subject to the submission of and acceptance of planning by the PADEP prior to the release of the capacity under the terms of HTMA's Connection Management Plan.
7. §205-22.A – Sidewalks shall be provided at any location where the Supervisors determine they are necessary. The Applicants have requested a waiver from this requirement to not install sidewalk along Rosewood Dr. Sidewalk currently exists on N. Line St. but not along Rosewood Dr. The Board of Supervisors should determine if sidewalk is required along Rosewood Dr.
8. §205-28.D(2) – A minimum 8-inches of topsoil should be distributed in lawn and landscape areas and there shall be no release of excess topsoil from the site until examination by the Township Engineer. A note should be added to sheet 1 of 5 and Sequence of Construction not 9 of sheet 2 of 5 shall be revised reflecting this requirement.
9. §205-48 to §205-56 – We defer review of any proposed landscaping to the Township Landscape Consultant.

C. Stormwater Management

Based on our review, the following items do not appear to comply with the current Montgomery Township Stormwater Management Ordinance. Upon further development of the plans, additional items may become apparent.

1. §206-6 – The area of proposed impervious surface on Lot #2 is less than 5,000 sq. ft. Therefore, the development is exempt from peak rate control.
2. §206-6 & §206-13 – ~~The limit of disturbance is greater than 5,000 sq. ft. but less than 1 ac. An adequacy review of the Erosion and Sediment Control Plan by the Conservation District is required.~~
3. §206-11.K – Storage facilities shall completely drain both volume control and rate control capacities over a period of time not less than 24 and not more than 72 hours. The applicant is requesting a waiver to extend the dewatering time to 129 hours. The applicants are proposing underground seepage beds. Therefore, we support this waiver.
4. §206-14.B – The proposed impervious coverage stated on page 3 of the Stormwater Management Report is 3,712 sq. ft. The total presented in the Impervious Surface Coverage table on page 4 of the report is 3001 sq. ft. The discrepancy should be resolved.
5. §206-14.B – A table summarizing the "allowable" impervious cover per the stormwater management design shall be included on the plan.

6. §206-14.C(5)(b) – A minimum of 0.2 in/hr infiltration rate (including 50% safety factor) is acceptable for design purposes. An infiltration rate of 0.16 in/hr was measured in the field and a rate of 0.14 in/hr is used for design. A waiver is required to allow the lower infiltration rate for design. We would support a waiver from this requirement. The minimum infiltration rate per PADEP guidance is 0.1 in/hr.


D. General

1. The Applicants are responsible for obtaining all required approvals, permits, declarations of restrictions and covenants, etc. (i.e., PADEP, PADOT, MCPC, MCCD, Sewer Authority, Water Authority, Fire Marshal, etc.). Copies of these approvals and permits should be submitted to the Township and our office.
2. The legal descriptions and the site construction cost estimate will be reviewed under separate cover.

In order to help expedite the review process of the resubmission of the plan, the Applicant should submit a response letter which addresses each of the above comments. Changes that have been made to the application that are unrelated to the review comments should also be identified in the response letter.

If you have any questions regarding the above, please contact this office.

Sincerely,



James P. Dougherty, P.E.
Senior Project Engineer
Township Engineers

JPD/sl

cc: Lawrence J. Gregan, Manager – Montgomery Township
Marita A. Stoerrle, Development Coordinator – Montgomery Township
Marianne McConnell, Deputy Zoning Officer – Montgomery Township
Frank R. Bartle, Esq., Solicitor – Dischell Bartle & Dooley, PC
Judith Stern Goldstein, ASLA, R.L.A. – Boucher & James, Inc.
Joseph J. Jr. and H. Yvonne Del Ciotto, Applicant
Jeff Wert, P.E., P.L.S. – Metz Engineers, Inc.
Russell S. Dunlevy, P.E., Executive Vice President – Gilmore & Associates, Inc.



GILMORE & ASSOCIATES, INC.
ENGINEERING & CONSULTING SERVICES

January 22, 2015

File No. 2015-01024

Bruce S. Shoupe, Director of Planning and Zoning
Montgomery Township
1001 Stump Road
Montgomeryville, PA 18936-9605

Reference: Del Ciotto Subdivision - LD/S# 680
1701 N. Line Street
Tax Parcel #46-00-02416-00-4; Block 005C, Unit 004

Dear Bruce:

Pursuant to your request, Gilmore & Associates, Inc. has reviewed the minor subdivision plan for the above-referenced project and offers the following comments for consideration by the Montgomery Township Board of Supervisors:

I. SUBMISSION

- A. Application for Subdivision and Land Development, dated December 18, 2014.
- B. Deed, Book 05507, Page 0343, recorded May 13, 2004.
- C. Subdivision Plan (Sheets 1 – 3 of 3), as prepared by Metz Engineers, Inc., dated December 18, 2014.

II. GENERAL

The subject property, within the Residential (R-2) Zoning District, is a developed 31,242 sq. ft. (net) parcel at 1701 N. Line Street, Lansdale, PA, at the intersection with Rosewood Drive. The site currently contains a duplex, a detached garage, shed and a paved driveway accessing N. Line Street. The lot is served by public sewer and water facilities. The Applicants, Joseph J. and H. Yvonne Del Ciotto, propose to subdivide the property into two parcels containing net areas of 16,573 sq. ft. and 14,744 sq. ft. It is noted on the plan that no construction is proposed at this time (note 20, sheet 1 of 3).

The Applicant appeared before the Zoning Hearing Board and was granted a variance from the requirements of Montgomery Township Zoning Ordinance section 230-33.A. Per the Order dated September 5, 2014 the variance is subject to the following:

1. Applicants strict compliance with the representations made at the hearing and contained in the Application for a Variance.
2. Applicants entering into a restrictive covenant for the benefit of the Township extinguishing the duplex use on the property.

The Applicants have requested a waiver from section 205-22.A of the Township Subdivision and Land Development Ordinance requiring installation of sidewalk along Rosewood Dr.

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III. REVIEW COMMENTS

A. Zoning Ordinance

Based on our review, the following items do not appear to comply with the current Montgomery Township Zoning Ordinance. Upon further development of the plans, additional items may become apparent.

1. §230-31.A. – The existing and proposed uses shall be included in the Zoning Tabulation table of Sheet 1 of 3. The existing use shall be noted as a nonconforming use.
2. §230-33.A. – The Applicants were granted a variance from the minimum lot area requirement. Note 13, Sheet 1 of 3 shall be revised to reference the appropriate section of the Township Zoning Ordinance (§230-33.A) and the date of the ZHB Order (September 5, 2014). Also, the Zoning Officer shall verify the conditions of the variance, as presented on the plan, are per the ZHB Order. The terms regarding timing of the demolition of the existing detached garage (Item D of note 13) do not seem to be consistent with the ZHB Order.
3. §230-33.B, C, D & E. – The building envelop for Lot 1 is depicted incorrectly on the plan. The plan shall be revised to indicate the following:
 - a. one front yard (60 ft depth) from the ultimate right-of-way of Line Street, which is classified as a Secondary Road on the Township Ultimate Classification of Roads map
 - b. a side yard (40 ft depth) from the ultimate right-of-way of Rosewood Dr.
 - c. a side yard (15 ft depth) opposite the yard along Rosewood Dr.
 - d. a rear yard (30 ft depth) opposite the front yard.
 - e. all existing use and building nonconformities associated with the existing and proposed Lot 1 shall be noted in the Zoning Tabulation and dimensioned on the plan.
4. §230-149.B(2) & (3). – Uses accessory to a dwelling unit are to be located within the building envelope and are not permitted to be located within any buffer area, as required by either the Subdivision and Land Development Ordinance or the Zoning Ordinance. We defer to the Zoning Officer regarding the proposed demolition of the existing garage on proposed Lot 1, removal of the existing shed on proposed Lot 2 and when those should occur with regard to the proposed subdivision.

B. Subdivision and Land Development Ordinance

Based on our review, the following items do not appear to comply with the current Montgomery Township Subdivision and Land Development Ordinance (SALDO). Upon further development of the plans, additional items may become apparent.

1. §205-85. – The plan was submitted and reviewed as a minor subdivision.
2. §205-87.A(2) – Bearings shall be presented in degrees, minutes & seconds.
3. §205-87.A(3) & (4) – The plan appears to show proposed grading on both proposed lots. However, it is difficult to differentiate between existing and proposed conditions. The plans shall be revised to clearly indicate existing and proposed conditions. The legend shall be revised accordingly.
4. §205-87.B(5) – The key map (a.k.a. location map) on Sheet 1 of 3 is not to scale. This map shall be made to scale of not less than 800 feet to the inch and encompass the area within 1,000 feet of the property boundary.
5. §205-87.B(10) – The following shall be included on the plan:
 - a. name of the owner of 116 Rosewood Dr.
 - b. locations and dimensions of streets, utilities, buildings, etc. within 400 feet of any part of the property

6. §205-87.B(15) – An area for the notary seal shall be provided near the notary acknowledgment.
7. §205-87.B(17) – The covenant regarding the conversion from a duplex to a single family dwelling shall be provided for review and approval by the Township Solicitor.
8. §205-87.K(1) – The date of the survey noted in the surveyor certification shall be verified and corrected if needed.
9. §205-22.A – Sidewalks shall be provided at any location where the Supervisors determine they are necessary. The Applicants have requested a waiver from this requirement to not install sidewalk along Rosewood Dr. Sidewalk currently exists on N. Line St. but not along Rosewood Dr. The Board of Supervisors should determine if sidewalk is required along Rosewood Dr.
10. The Applicants state on the plan (note 20, Sheet 1 of 3) that no construction is proposed at this time and that improvement of either lot requires permits from the Township (notes 21 & 22, Sheet 1 of 3). However, proposed grading, dwelling, driveway and other improvements are shown on the plans. The Applicants shall clarify the intent. We have reviewed the plans with the assumption no construction is proposed at this time. The improvements, E&S controls and associated details have not been reviewed. If no construction is proposed, we recommend that all depicted improvements, E&S controls and associated details, with the exception of those required to comply with the ZHB Order, be removed from the plan. However, if construction is proposed; additional information shall be provided (e.g. stormwater management report and design) prior to our review and comment.

C. General

1. At the time of development, the Applicant should obtain all required approvals, permits, declarations of restrictions and covenants, etc. (i.e., PaDEP, PennDOT, MCPC, MCCD, Montgomery Township Municipal Sewer Authority, NWWA, North Penn Water Authority, MCDH, DRBC, HARB, Fire Marshal, etc.). Copies of these approvals and permits should be submitted to the Township and our office.
2. Legal descriptions of the proposed lots shall be provided for review and approval.

In order to help expedite the review process of the resubmission of the plan, the Applicant should submit a response letter which addresses each of the above comments. Changes that have been made to the application that are unrelated to the review comments should also be identified in the response letter.

If you have any questions regarding the above, please contact this office.

Sincerely,



Russell S. Dunlevy, P.E.
Executive Vice President
Township Engineers



James P. Dougherty, P.E.
Senior Project Engineer
Township Engineers

RSD/JPD/sl

cc: Lawrence J. Gregan, Manager - Montgomery Township
Marita A. Stoerrle, Development Coordinator - Montgomery Township
Marianne McConnell, Deputy Zoning Officer - Montgomery Township
Frank R. Bartle, Esq., Solicitor - Dischell Bartle & Dooley, PC
Judith Stern Goldstein, ASLA, R.L.A. - Boucher & James, Inc.
Joseph J. Jr. and H. Yvonne Del Ciotto, Applicant
Jeff Wert, P.E., P.L.S. - Metz Engineers, Inc.



Boucher & James, Inc.

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July 24, 2015

Lawrence Gregan, Township Manager
Montgomery Township
1001 Stump Road
Montgomeryville, PA 18936

**SUBJECT: 1701 N. LINE STREET – DEL CIOTTO
MINOR SUBDIVISION PLANS
TOWNSHIP LD/S NO. 680
PROJECT NO. 1455286R**

Dear Mr. Gregan:

Please be advised that we have reviewed the 1701 N. Line Street – Del Ciotto Subdivision Plans prepared by Metz Engineers, Inc., dated December 18, 2014 and last revised June 15, 2015. The site is located at the intersection of Line Street and Rosewood Drive, within the R-2 Residential District.

The plans propose the subdivision of the existing parcel into two residential lots, with the construction of a new residential dwelling on Lot 2. An existing structure on Lot 1 is to be restored to a single-family dwelling unit, and an existing cinderblock garage is to be demolished. Public water and sewer are existing/proposed.

We offer the following comments for your consideration.

1. General Requirements

SLDO 205-49: the plans should be revised to demonstrate compliance with the following general requirements, or waivers would be required:

- A. SLDO 205-49.C: The July 16, 2015 response letter indicates that the Landscape Plan is designed by Land Concepts, Inc. The plans must be signed and sealed by the landscape architect responsible for preparation of the plans.
- B. SLDO 205-49.E: Note 8 of the General Planting & Procedures Notes should be revised to correctly reference the American Standard for Nursery Stock (2014) or most recent edition, and the American Nursery and Landscape Association.
- C. SLDO 205-49.F: The notes in the tree and shrub planting details regarding the pruning of 1/3 of branches or trimming to the natural form of the tree at the time of planting should be removed, as well as any references to branch and root dressing, as they conflict with ANSI A300 standards.

2. Planting Requirements

- A. SLDO 205-52.A(2)(f): The proposed Shingle Oak street tree along Line St. should be moved back to 15-25' from the overhead utility lines in order to avoid conflicts.
- B. SLDO 205-52.B(2)(a): Thirty (30) shade trees and 60 shrubs are required to meet softening buffer requirements. Two (2) shade trees, 6 evergreen trees (equivalent to 3 shade trees per standard ordinance conversions), and 22 shrubs have been provided. Therefore, the plan is deficient by 25 shade trees and 38 shrubs. A waiver has been requested. We have no objection to this waiver so long as the required landscaping is provided elsewhere in the Township or a fee-in-lieu is provided.

3. Preservation, Protection and Replacement of Existing Trees

SLDO 205-53.C(1): Preservation percentages for trees in the 8-23" range are to be calculated on a tree-for-tree basis; for trees larger than 23" calculations are to be based on the total caliper inches. The Replacement Tree Schedule calculations provided are based on total caliper inches for all trees on the site, regardless of size range. The calculations should be corrected to demonstrate compliance with the ordinance requirements.

4. Recommended Plant List and Planting Standards and Guidelines

- A. SLDO Appendix C: Notes conflicting with the requirements of Appendix C should be removed from the plan set or corrected, including notes referencing a 24 month maintenance period, backfill mix composition, and tree staking notes.
- B. SLDO Appendix C: The Tree Planting and Staking detail and Shrub Planting detail should be revised to demonstrate compliance with the following requirements as provided in the planting details in Appendix C: planting depth and trunk flare exposure, staking method, mulch depth and application, pruning notes, and backfill specification.

5. General Comments

- A. Proposed shade trees in the front yard of Lot 2 are shown in close proximity to underground utility lines. A minimum of 10' should be provided between proposed utilities and trees in order to avoid conflicts.
- B. A proposed dogwood is shown in close proximity to an existing 30" oak in the front yard of Lot 1. In order to avoid damage to the structural roots of the existing tree, the dogwood should be moved farther away from the tree trunk.
- C. The plans indicate that a 14" maple to the rear of Lot 2 is to be preserved. However, proposed grading is shown around more than half of the tree. Additional information should be provided demonstrating that the tree will not be disturbed by grading of the adjacent swale, or the tree should be counted as removed and included in the tree replacement calculations.

Mr. Lawrence Gregan, Township Manager
1701 N. Line St. - Del Ciotto
July 24, 2015
Page 3

- D. The tree and shrub planting details should be revised to specify that plant material be placed on undisturbed soil in order to avoid the shifting of plants in their pits.
- E. A detailed response letter addressing the above noted comments and any other changes to the plans should be included with future submissions.

Sincerely,



Judith Stern Goldstein, ASLA, R.L.A.
Managing Director



Valerie L. Liggett, ASLA, R.L.A.
ISA Certified Arborist®
Planner/Landscape Architect

JSG/vll/bpa

cc: Board of Supervisors
Planning Commission
Bruce Shoupe, Director of Planning and Zoning
Marita Stoerrle, Development Coordinator
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Frank R. Bartle, Esq., Dischell Bartle & Dooley, PC
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January 6, 2015

Lawrence Gregan, Township Manager
Montgomery Township
1001 Stump Road
Montgomeryville, PA 18936

**SUBJECT: 1701 N. LINE STREET – DEL CIOTTO
MINOR SUBDIVISION PLANS
TOWNSHIP LD/S NO. 680
PROJECT NO. 1455286R**

Dear Mr. Gregan:

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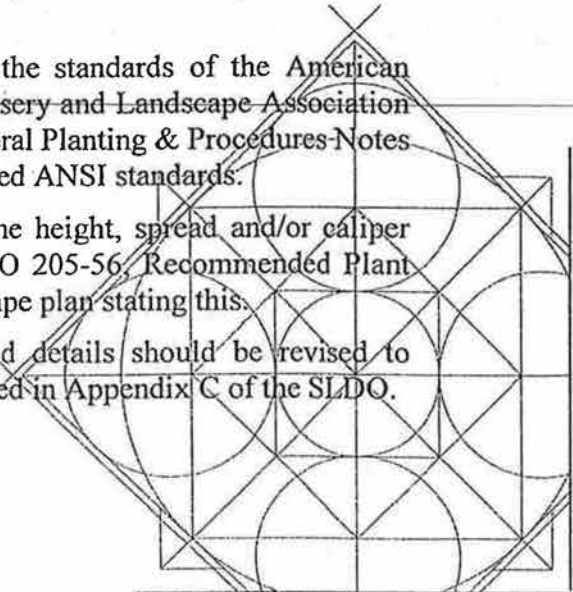
The plans propose the subdivision of the existing parcel into two residential lots, with the construction of a new residential dwelling on Lot 2. An existing structure on Lot 1 is to be restored to a single-family dwelling unit, and an existing cinderblock garage is to be demolished. Public water and sewer are existing/proposed.

We offer the following comments for your consideration.

1. General Requirements

SLDO 205-49: the plans should be revised to demonstrate compliance with the following general requirements, or waivers would be required:

- A. SLDO 205-49.C: all landscape plans shall be prepared by a landscape architect registered by the Commonwealth of Pennsylvania and familiar with this Landscape Article. The plans must be prepared, signed and sealed by a landscape architect.
- B. SLDO 205-49.E: all plant material shall meet the standards of the American Standard for Nursery Stock by the American Nursery and Landscape Association (2014) or most recent edition. Note 7 of the General Planting & Procedures Notes should be revised to correctly reference the required ANSI standards.
- C. SLDO 205-49.E: all plant material shall meet the height, spread and/or caliper requirements for trees and shrubs listed in SLDO 205-56, Recommended Plant List. A note is required to be added to the landscape plan stating this.
- D. SLDO 205-49.F: the planting specifications and details should be revised to demonstrate compliance with the standards outlined in Appendix C of the SLDO.



- E. SLDO 205-49.F: all plant material shall be pruned in accordance with ANSI A300 pruning standards. A note should be added to the plan demonstrating compliance with this requirement. Any notes on the plan that are in conflict with ANSI A300 standards should be removed.
- F. SLDO 205-49.G and H: notes should be added to the plan demonstrating compliance with the guarantee, replacement, and final inspection requirements in these ordinance sections.
- G. SLDO 205-49.J: street trees shall be a minimum of 3" in caliper. All main branches shall be pruned to a clearance height of 8' above the ground. Street trees shall have a single, straight trunk and central leader and shall be free of disease and mechanical damage. A note shall be added to the landscape plan stating this information.

2. Landscape Plan Requirements.

SLDO Section 205-51: the Landscape Plan should be revised to provide the following information, or waivers would be required:

- A. SLDO 205-51.A(1): a plan scale is required. The plans indicate that the landscape plans are at 1"=20'. However, a graphic scale should be provided for reference in the event that the plans are reduced.
- B. SLDO 205-51.A(9) & (10): the location of existing individual trees with trunks 8" in diameter or more, and the location, caliper and common names of all trees greater than 23" in caliper as measured at 4 ½ feet above the ground are required to be provided. Several trees on the site have not been shown in the plans, and it appears that several of the trees on the plan have not been shown correctly. This information may be provided on an existing features plan.
- C. SLDO 205-51.A(11): a replacement tree plant schedule using the trees proposed for replacement of existing trees of 8" caliper or greater destroyed by development is required. This may be made a part of the general plant schedule.
- D. SLDO 205-51.A(12): plant schedules are required to include the required height and spread for all proposed plant materials.
- E. SLDO 205-51.A(18): a detailed cost estimate shall be attached to the final landscape plan submission for the preparation of the land development agreement. This estimate shall show the value of all proposed landscaping. Unit costs for plant material shall include costs for materials, labor and guarantee and shall be so stated on the estimate provided.
- F. SLDO 205-51.A(19): the landscape plan is required to show the limits of temporary fencing to be used for protection of existing trees and shrubs during construction. Tree protection details and notes have been provided. However, tree protection fencing locations have not been shown on the plan.

3. Planting Requirements

SLDO Section 205-52: the Landscape Plan should be revised to demonstrate compliance with the following planting requirements, or waivers would be required:

- A. SLDO 205-52.A(1): street trees are required along both Rosewood Avenue and Line Street. SLDO 205-52.A(2)(d) permits that existing shade trees over 4" in caliper within 10' of the legal or ultimate right of way (whichever is greater) may be utilized to meet street tree requirements. It appears that at least one (1) additional street tree is required along Rosewood Drive on Lot 1.
- B. SLDO 205-52.A(2)(a): street trees shall in no instance be closer than 40' on center nor further than 50' on center. Two of the proposed street trees are farther apart than 50' on center, and two are closer together than 40' on center.
- C. SLDO 205-52.B(2)(a): softening buffers are required in all zoning districts and for all uses. The plans should be revised to demonstrate compliance with the softening buffer requirements outlined in 205-52.B.
- D. SLDO 205-52.G(b) & Table 1: three (3) shade trees are required per unit for individual lot landscaping.
- E. SLDO 205-52.J Existing Vegetation: in cases where preserved natural features on site duplicate or essentially duplicate the planting requirements of this chapter, these requirements may be waived or amended by the Board of Supervisors.

4. Preservation, Protection and Replacement of Existing Trees

- A. SLDO 205-53.B(2): a note should be added to the plan indicating that should it become necessary to disturb more than 1/4 of the total root area of a tree, the tree will no longer be considered to be preserved and must be replaced.
 - B. SLDO 205-53.B(3): at the direction of the Township Engineer, Township Shade Tree Commission, or Township Landscape Architect, existing trees which have not been adequately protected are to be removed and replaced. The plans should be revised to provide a note demonstrating compliance with this ordinance requirement.
 - C. SLDO 205-53.C and 205-54 provide the requirements for the preservation of trees and the replacement of trees destroyed by development. The plans should be revised to demonstrate compliance with the tree preservation and replacement requirements, or waivers would be required.
-

5. Recommended Plant List and Planting Standards and Guidelines

- A. SLDO Appendix C: the Tree Planting and Staking detail on sheet 3 of 3 should be revised to demonstrate compliance with the Tree Planting Details in Appendix C, or a waiver would be required. If no shrubs are proposed to be planted, the shrub planting detail should be removed.

- B. SLDO Appendix C: plant material is to be shown on the plans in accordance with the standards provided in subsections (1) through (12). The General Planting Procedures and Notes on sheet 2 of 3 should be revised to provide the notes listed in Appendix C in order to demonstrate compliance with the ordinance requirements, or a waiver would be required.

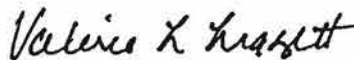
6. General Comments

- A. The plans should be revised to provide a note stating that substantial changes to the approved Landscape Plans must be approved by the Township through plan resubmission. If substantial changes to the landscaping are made without prior approval from the Township, the changes will be rejected upon inspection.
- B. The plans should be revised to provide a note stating that if a plant species or other substitution is made without receiving prior substitution request approval from the Township, the unapproved plants will be rejected upon inspection. All plant substitution requests should be forwarded in writing to this office for review.
- C. A detailed response letter addressing the above noted comments and any other changes to the plans should be included with future submissions.

Sincerely,



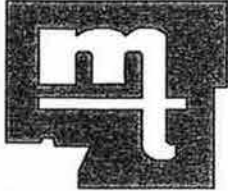
Judith Stern Goldstein, ASLA, R.L.A.
Managing Director



Valerie L. Liggett, ASLA, R.L.A.
ISA Certified Arborist®
Planner/Landscape Architect

JSG/vll/kam

cc: Board of Supervisors
Planning Commission
Bruce Shoupe, Director of Planning and Zoning
Marita Stoerrle, Development Coordinator
Marianne McConnell, Deputy Zoning Officer
Frank R. Bartle, Esq., Dischell Bartle & Dooley, PC
James P. Dougherty, P.E., Gilmore & Associates, Inc.
Jeff Wert, PE, PLS, Metz Engineers, Inc.
Joseph J. Jr. and H. Yvonne Del Ciotto



MEMORANDUM

TO: Board of Supervisors

FROM: Planning Commission
Jay Glickman, Vice-Chairman

DATE: February 19, 2015

RE: 1701 N. Line Street
Del Ciotto Minor Subdivision

The Planning Commission has reviewed the above named plan and would like to recommend to the Board of Supervisors that this plan be approved subject to satisfactory compliance with all comments of the Township consultants. The applicant must comply with all comments of the Township Engineer regarding Stormwater Management. A restrictive covenant should be noted on the plan to assure that all public improvements are completed for Lot #2.

The motion further indicated that all requested waivers be approved.

AGENDA ITEMS

- Conditional Use Application - BJ's Fueling Station – Wilkinson Five Point LP
- Plan Review – 1023 Lansdale Avenue
- Plan Review – 1701 N. Line Street

MONTGOMERY TOWNSHIP PLANNING COMMISSION

February 19, 2015

The February 19, 2015, meeting of the Montgomery Township Planning Commission was called to order by Vice-Chairman Jay Glickman at 7:30 p.m. In attendance were Commissioners Leon McGuire, Steven Krumenacker, James Rall and Ellen Reynolds. Chairman Jonathan Trump was absent. Also present were Bruce Shoupe, Director of Planning and Zoning, and Candyce Fluehr Chimera, Supervisor Liaison.

The minutes of January 15, 2015, were approved as submitted.

There were no public comments.

CONDITIONAL USE APPLICATION – BJ'S FUELING STATION

A discussion of the conditional use application for the BJ's Fueling Station was next on the agenda. Robert Brant, attorney for the project, and Luke Teller, engineer for the project, were present to discuss this application. Also present was Dick Wilkinson, owner of the property. Mr. Brant advised that this property was Condominium #3 at Five Points Plaza. At present there is a vacant bank building at this site. He stated that they proposed to demolish the building and construct a gasoline fueling facility with 14 fuel stations, a drive-thru ATM and a 157 square foot building. Mr. Teller presented an overview of the plan. Mr. Brant advised that they had received variances from the Zoning Hearing Board for this project. This conditional use application was the next step. A fueling station is permitted as a conditional use in the Shopping Center District. He advised that they also have submitted a land development plan, which is now under review. That plan will be discussed at the March 19, 2015, Planning Commission meeting. A question arose as to hours of operation. Mr. Brant stated that the hours of operation would be from 6:30 a.m. to 10:00 p.m. It was further stated that deliveries were usually during off hour periods. The Planning Commission members were concerned about the buffering for the residential property adjoining this property. Mr. Wilkinson stated that at present the house was not able to be seen from the BJ's property and that they would make certain that the house was buffered properly from the new construction. Mr. Krumenacker questioned the access to the property. Mr. Teller advised that the access was from inside the shopping center; there was not direct access from either Cowpath Road or Route 309. After some further discussion, a motion was made by Mrs. Reynolds, seconded by Mr. Rall, to recommend to the Board of Supervisors that this conditional use application be approved, subject to satisfactory compliance with all comments of the Township's review agencies. Motion carried unanimously.

1023 LANSDALE AVENUE

The next item on the agenda was a presentation of the plan for a minor subdivision at 1023 Lansdale Avenue. Robert Jordan, engineer for the project, was present to discuss this plan. He advised that this was a two lot subdivision. The property is a developed 1.4 acre parcel located at 1023 Lansdale Avenue. The site currently contains a single family residence with an accessory carport and a paved driveway accessing Lansdale Avenue northwest of its intersection with Pecan Drive. It is within the R-2 Residential Zoning District. The applicant proposes to subdivide the property into two parcels, containing net areas of .682 acres. Presently, all that was being done was the subdivision of the lot; no new construction is being proposed at this time. Mr. Jordan stated that this needed to be done so that the subdivision could be recorded. He mentioned that this subdivision had occurred previously, but apparently had never been recorded. Mr. Jordan stated that there currently is a house on Lot #1. A question arose as to the improvements on Lot #2; who would be responsible for them. Mr. Jordan stated that the owner of Lot #2 would be responsible. Notes would be placed on the plans regarding this. Mr. Shoupe suggested that a restrictive covenant be recorded so that any potential buyer would know exactly what would be required of them. Mr. Jordan stated that they were asking for a waiver from Section §205-87.B(10) – the requirement to provide the locations and dimensions of all existing utilities within 400 feet of the property to be shown on the plan. Mr. Shoupe stated that there were also some landscaping waivers which were being requested. Normally, the applicant either provides for the landscaping or submits a fee in lieu of the plantings. Mr. Jordan stated that the owner had decided that he would provide the landscaping for Lot #1 and asks to defer the installation of any landscaping on Lot #2 until such time as it is constructed. Therefore the waivers are as follows:

1. Section §205-52.J – the requirement that in cases where preserved natural features on site duplicate or essentially duplicate the planting requirements of the chapter these requirements may be waived. *(The consultants have no objection to this waiver,)*
2. Section §205-87.B(10) – the requirement to provide the locations and dimensions of all existing utilities within 400 feet of the property to be shown on the plan. *(The consultants have no objection to this waiver.)*
3. Section §205-22.A Sidewalks - A waiver from the requirement to install sidewalks along Lansdale Avenue is requested. *(The consultants have no objection to this waiver.)*

After some further comments, a motion was made by Mr. McGuire, seconded by Mr. Rall, to recommend to the Board of Supervisors, that this plan be approved, subject to satisfactory compliance with all comments of the Township review agencies. Motion further indicated that the requested waivers be approved. It was also noted that a restrictive covenant should be recorded regarding improvements to Lot #2, as well as placing a note on the record plan. Motion carried unanimously.

1701 N. LINE STREET

Next on the agenda was a presentation of the plan for 1701 N. Line Street. This would be for a two lot subdivision. Joseph Del Ciotto, owner and architect, was present to address this plan. Mr. Del Ciotto explained that the property is a developed 31,242 sq. ft. parcel at 1701 N. Line Street, at the intersection

with Rosewood Drive. The site currently contains a duplex, a detached garage, shed and a paved driveway accessing N. Line Street. The parcel is within the R-2 Residential District. They propose to subdivide the property into two parcels containing net areas of 16,573 sq. ft. and 14,744 sq. ft. An existing structure on Lot 1 is to be restored to a single-family dwelling unit and an existing garage is to be demolished. They were granted a variance from the Zoning Hearing Board on September 5, 2014. Mr. Del Ciotto stated that he had received several review letters and would comply with most comments. However, there were three waivers which he was requesting; landscaping, sidewalks, and showing existing features within 400 feet of the site. He advised that there was not enough room for all of the trees and shrubs that are required in the landscaping buffer. He would plant what trees and shrubs that would fit in; however a waiver would be requested for the rest of the landscaping. Mr. Rall stated that normally if all required landscaping could not be planted, a fee in lieu was provided by the applicant. Mr. McGuire stated that he would like the Township to review the Landscaping Ordinance to see if the regulations could be changed for smaller properties. The Planning Commission members stated that they would like to review the ordinance to see if this would be possible. A waiver was also requested from the installation of sidewalks along Rosewood Drive. Mr. Del Ciotto stated that there were no other sidewalks in the area. Installation of sidewalks was something that was discretionary on the part of the Board of Supervisors. The following are the requested waivers:

1. Section 205-22.A – the requirement that sidewalks be installed. The applicant has requested that sidewalks not be installed along Rosewood Drive as there are no sidewalks presently located in the neighborhood. *(This is discretionary on the part of the Board of Supervisors.)*
2. Section 205-87.B(10) – the requirement from providing the locations and dimensions of streets, utilities, building, etc. within 400 feet of the site. *(The consultants have no objection to this waiver.)*
3. Section 205-52.B – the requirement for softening buffer. The applicant feels that they cannot install the required amount of landscaping on site. They will provide 2 shade trees, 6 evergreen trees and 22 shrubs. A waiver is required for the remaining shade trees and shrubs. *(The consultants have no objection to this waiver provided that the trees are planted in another Township location or a fee in lieu of the required landscaping be submitted. The applicant has made a commitment to a neighbor to plant evergreen trees. The consultants have no objection to this, however the proposed evergreens should be counted as equivalent to 3 shade trees as described in Section 205:A1 Note 1.)*
25 Shade Trees x \$350 = \$8,750 and 38 shrubs x \$65 = \$2,470.

A question arose regarding storm water management for the new lot. After some discussion, it was determined that Mr. Del Ciotto had not submitted any storm water information to the Township Engineer as yet. Mr. Shoupe stated that the plan indicated that no new construction would be done right now. However, that was not correct. Mr. Shoupe stated that this note would need to be corrected. Information would need to be submitted on any improvements to the site, including storm water management. Some discussion occurred after which a motion was made by Mr. Rall, seconded by Mrs. Reynolds, to recommend approval of this plan to the Board of Supervisors, subject to satisfactory compliance with all comments of the Township's review agencies. Motion specifically made reference to the applicant complying with any storm water management requirements. Motion further recommended approval of the waiver requests. Motion carried unanimously.

Mr. Glickman introduced Janet Riley, a resident, who was interested in submitting a resume for the vacant position on the Commission.

This meeting was adjourned at 8:15 p.m.

Respectfully submitted:

Marita Stoerrle
Development Coordinator/
Recording Secretary

MONTGOMERY COUNTY
BOARD OF COMMISSIONERS
JIM SHAPIRO, CHAIR
LILLIE S. RICHARDS, VICE CHAIR
MICHAEL L. CASTOR, JR., COMMISSIONER



MONTGOMERY COUNTY
PLANNING COMMISSION
MONTGOMERY COUNTY COURTHOUSE • PO BOX 311
NORRISTOWN, PA 19404-0311
610-278-3722
FAX: 610-278-3941 • TDD: 610-631-1211
WWW.MONTCOPA.ORG
JODY L. HOLTON, AICP
EXECUTIVE DIRECTOR
RECEIVED
JAN 9 2015
MONTGOMERY TOWNSHIP

January 7, 2015

Marita Stoerrle, Development Coordinator
Montgomery Township
1001 Stump Road
Montgomeryville, PA 18936-9605

RE: MCPC #14-0278-001
Plan Name: 1701 Line Street
(2 lots comprising 0.72 acres)
Situate: Line Street (E)/Rosewood Drive (N)
Montgomery Township

Applicant's Name & Address
Joseph J., Jr. and Yvonne H. DelCiotto
201 Church Road
Lansdale, PA 19446
Phone: (215) 699-6901

Dear Ms. Stoerrle:

We have reviewed the above-referenced land development plan in accordance with Section 502 of Act 247, "The Pennsylvania Municipalities Code", as requested on December 29, 2014. We forward this letter as a report on our review and comments.

Background

The submission is a final two lot subdivision plan involving an existing single family dwelling and the creation of a second single family dwelling lot. The parcel carries R-2, Residential zoning requiring 20,000 square foot lots. The plan notes that zoning relief was granted August 6, 2014 to allow the existing dwelling to retain an approximate 16,173 square foot lot creating an approximate 14,744 square foot Lot 2. No construction is currently proposed on Lot 2. Lot 1 is currently served by public sewer and water; public sewer and water are also available for the eventual dwelling construction on Lot 2.

Comments

The proposal is a minor subdivision that has previously addressed the zoning issues associated with lot size. We have no additional comments pertaining to this subdivision.

Please note that this report is advisory to the municipality and final disposition for the approval of any proposal will be made by the municipality.

Should the governing body approve a final plat of this proposal, the applicant must present a plan to our office for seal and signature prior to recording with the Record of Deeds office. A paper copy bearing the municipal seal and signature of approval must be supplied for our files.

Sincerely,

A handwritten signature in black ink, appearing to read 'Crystal Gilchrist', followed by a long horizontal flourish.

Crystal Gilchrist, AICP, Transportation Planner
610.278.3734 – cgilchri@montcopa.org

c: Joseph J., Jr. and Yvonne Del Ciotto, Applicants
Jeff Wert, PE, Metz Engineers, Inc., Applicant's Engineer
Lawrence J. Gegan, Township Manager
Bruce Shoupe, Planning and Zoning Director
Russell Dunlevy, Gilmore Associates; Township Engineer
Frank Bartle, Esq., Township Solicitor

ZONING ORDINANCE PLAN REVIEW

DATE: February 16, 2015

PLAN REVIEW – 1701 N. Line Street
LD/S # 680

DEVELOPMENT NAME: Del Ciotto

LOCATION: 1701 N. Line Street

LOT NUMBER & SUBDIVISION: 2 (1 existing)

ZONING DISTRICT: R2 - Residential

PROPOSED USE: Residential

ZONING HEARING BOARD APPROVAL REQUIRED? Granted – ZHB #14070002

CONDITIONAL USE APPROVAL REQUIRED? NO

	Proposed	Required	Approved	Not Approved	N/A
USE			X		
HEIGHT	Lot 1 – existing Lot 2 - <35 ft	Max. 35 ft	X		
LOT SIZE	Lot 1 – 16,573 sf Lot 2 – 14,744 sf	20,000 sf	X		
SETBACKS BUFFER	NA	NA			
FRONT	Lot 1 – 60 ft Lot 2 - 115.17	100	X	See Comments	
SIDES	Lot 1 – 40' Rosewood	15 ft (30 aggr.)	X	See Comments	
REAR	30 ft	30 ft	X		
GREEN AREA	35.01%	Min. 35%	X		
BUILDING COVERAGE	Lot 1 -13.2% Lot 2 – 10.8%	Max. 15%	X		
IMPERVIOUS COVERAGE	Lot 1 – 26.9% Lot 2 – 22%	Max 65%	X		

COMMENTS

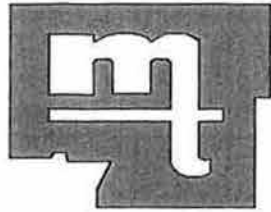
ADDITIONAL COMMENTS:

1. The condition in General Note #13D was not contained in the Zoning Hearing Board decision of August 6, 2014 and shall be removed.
2. General Note #19 should be clarified stating responsibilities of the lot owners. The restrictive covenant should address the timing and conditions imposed on the purchaser of Lot #2 as to the removal of the garage and the extinguishment of the duplex use on Lot #1 prior final building inspection and the issuance of the Certificate of Occupancy for Lot #2.

3. General Note 21 is confusing and needs to be clarified.
4. A note shall be placed on the record plan and the building permit issued for Lot #2 that the duplex use shall be extinguished and the garage on Lot #1 shall be removed prior to the final building inspection and the issuance of the Certificate of Occupancy for Lot #2
5. Zoning Table shall be restated for Lot #1 –
60 ft front yard – North Line Street
40 ft side yard – Rosewood Drive
15 ft side yard opposite Rosewood Drive
30 ft rear yard
Lot #2 50 ft front yard
30 ft rear yard
15 ft (30 ft aggr.) side yard


ZONING OFFICER

2-16-15
DATE



MONTGOMERY TOWNSHIP
DEPARTMENT OF FIRE SERVICES
1001 STUMP ROAD
MONTGOMERYVILLE, PA 1 18936-9605
Telephone: 215-393-6935 • Fax: 215-699-1560
email: rlesniak@montgomerytp.org
www.montgomerytp.org

RICHARD M. LESNIAK
DIRECTOR OF FIRE SERVICES
FIRE MARSHAL
EMERGENCY MANAGEMENT
COORDINATOR
FIRE MARSHALS OFFICE:
215-393-6936

August 5, 2015

Bruce Shoupe
Director of Planning and Zoning
Montgomery Township
1001 Stump Road
Montgomeryville, PA 18936

Re: Del Ciotto Subdivision – 1701 N. Line Street

Dear Bruce:

Thank you for allowing the Fire Marshal's Office to comment on the proposed two lot subdivision at the above referenced location.

Using the 2009 edition of the International Fire Code for guidance, the Fire Marshal's Office offers the following comments:

1. **505.1 Address identification.** New and existing buildings shall have *approved* address numbers, building numbers or *approved* building identification placed in a position that is plainly legible and visible from the street or road fronting the property. These numbers shall contrast with their background. Address numbers shall be Arabic numbers or alphabetical letters. Numbers shall be a minimum of 4 inches (101.6 mm) high with a minimum stroke width of 05. Inch (12.7 mm). Where access is by means of a private road and the building cannot be viewed from the *public way*, a monument, pole or other sign or means shall be used to identify the structure.

Comment: Street address numbers shall be provided on building as directed by the Fire Marshal's Office.

-
2. **507.1 Required water supply.** An *approved* water supply capable of supplying the required fire flow for fire protection shall be provided to premises upon which facilities, buildings or portions of buildings are hereafter constructed or moved into or within the jurisdiction.
 3. **507.5.1 Where required.** Where a portion of the facility or building hereafter constructed or moved into or within the jurisdiction is more than 400 feet (122m) from a hydrant on a fire apparatus access road, as measured by an *approved* route around the exterior of the facility or building, on-site fire hydrants and mains shall be provided where required by the fire code official.

Exceptions:

1. For Group R-3 and Group U occupancies, the distance requirement shall be 600 feet (183 m).
2. For buildings equipped throughout with an *approved automatic sprinkler system* installed in accordance with Section 903.3.1.1 or 903.3.1.2, the distance requirement shall be 600 feet (183 m).

Comment: Applicant should verify distance to closest fire hydrant.

4. **B105.1 One- and Two-family dwellings.** The minimum fire-flow and flow duration requirements for one- and two-family dwellings having a fire-flow calculation area that does not exceed 3,600 square feet (344.5 m²) shall be 1,000 gallons per minute (3785.4 L/min) for 1 hour. Fire-flow and flow duration for dwellings having a fire-flow calculation area in excess of 3,600 square feet (344.5 m²) shall not be less than that specified in Table B105.1.

Exception: A reduction in required fire-flow of 50 percent, as *approved*, is allowed when the building is equipped with an *approved automatic sprinkler system*.

Comment: Applicant should verify fire-flow capabilities of closest fire hydrant.

All revisions of the above named plan SHALL be reviewed by the Fire Marshal's Office for approval. Should you have any questions or need additional information, please do not hesitate to contact me.

Sincerely,



Richard M. Lesniak
Director of Fire Services

MONTGOMERY TOWNSHIP BOARD OF SUPERVISORS
BOARD ACTION SUMMARY

SUBJECT: Consider Waiver of Special Events Permit Fees – Bharatiya Temple – Ganesh Festival

MEETING DATE: September 14, 2015

ITEM NUMBER: **#15a.**

MEETING/AGENDA: WORK SESSION

ACTION XX

NONE

REASON FOR CONSIDERATION: Operational: Policy: Discussion: xx Information:

INITIATED BY: Bruce Shoupe
Director of Planning and Zoning

BOARD LIAISON: Michael J. Fox
Chairman

BACKGROUND:

In the past, it has been the policy of the Board of Supervisors to waive permit fees for non-profit and religious organizations. The Township has received a request from the Bharatiya Temple to waive the \$100.00 special event permit fee for the Ganesh Festival to be held from September 16, 2015 until September 26, 2015.

ZONING, SUBDIVISION OR LAND DEVELOPMENT IMPACT:

None.

PREVIOUS BOARD ACTION:

None.

ALTERNATIVES/OPTIONS:

None.

BUDGET IMPACT:

None.

RECOMMENDATION:

That the permit fee for Bharatiya Temple be waived.

MOTION/RESOLUTION:

Resolution is attached.

MOTION: _____

SECOND: _____

ROLL CALL:

Robert J. Birch	Aye	Opposed	Abstain	Absent
Candyce Fluehr Chimera	Aye	Opposed	Abstain	Absent
Jeffrey W. McDonnell	Aye	Opposed	Abstain	Absent
Joseph P. Walsh	Aye	Opposed	Abstain	Absent
Michael J. Fox	Aye	Opposed	Abstain	Absent

DISTRIBUTION: Board of Supervisors, Frank R. Bartle, Esq.

Resolution #

BE IT RESOLVED by the Board of Supervisors of Montgomery Township that we hereby approve the request of Bharatiya Temple to waive the \$100.00 special event permit fee for the Ganesh Festival to be held from September 16, 2015 until September 26, 2015.

MOTION BY:

SECOND BY:

VOTE:

DATE:

xc: Applicant, F. Bartle, B. Shoupe, Minute Book, Resolution File, File



BHARATIYA TEMPLE AND CULTURAL CENTER

Ph 215-997-1181

Street Address | 1612 County Line Rd | Chalfont, PA, 18914
Mailing Address | P.O. BOX 463 | Montgomeryville, PA, 18936

www.b-temple.org

Executive Officers

President - Nand Todi
Vice President - Vipul Rathod
Treasurer - Eswaran Balasubramanian
Secretary - Praful Patel

Board of Directors

Eswaran Balasubramanian	215-565-5122
Mahesh Jituri	215-643-2424
Praful Patel	215-616-0782
Vipul Rathod	215-641-8091
Sri Sagaram	215-699-6367
Nimish Sanghrajka	215-646-1998
Dilip Sheth	610-275-7472
Parasaran Thyagaraja	215-674-9573
Nand Todi	215-699-0406

Committee Chairpersons

Religious Committee
Nand Todi 215-699-0406

General Administration
Vipul Rathod 215-641-8091

PR & Communication
Sheetal Vibhute 508-736-2875

Priest Committee
Mohinder Sardana 610-584-5989

Capital & Construction
Ashok Soni 215-540-0979

Maintenance
Raman Patel 215-628-2384

Resource Committee
Prem Balani 215-631-9503

Fundraising
Nimish Sanghrajka 215-646-1998

Educational Committee
Rita Sheth 610-275-7472

Cultural Committee
Sapna Radhakrishnan 267-614-2072

Senior Citizen Group
Priti Shah 215-699-2317

Youth Group
Vijay Pola 215-768-2544

Women's Group
Meeta Kumar 215-898-7021

Bharatiya Vidyalaya
Praveen Sharma 215-361-0145

Health and Human Services
Akkaraju Sarnia 215-914-0236

09/02/2015

To whom it may concern:

The Bharatiya temple and Cultural Center have submitted a special events permit for an upcoming program at the temple.

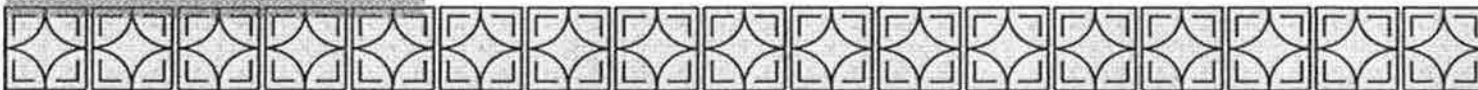
The Temple and Cultural center are a non-profit organization under tax id's:

Bharatiya Temple, Inc (Tax ID # 23-2959416)
Bharatiya Cultural Center, Inc (Tax ID # 76-0706802)

This letter is to request a waiver to the associated fees for the special events permit.

Please feel free to contact me at (267) 939 -9715 for questions or concerns.

Vipul Rathod
Vice. President
(Bharatiya Temple and Bharatiya Cultural Center)
104 Green Tree Tavern Rd
North Wales, PA, 19454





BHARATIYA TEMPLE AND CULTURAL CENTER

Ph 215-997-1181

Street Address | 1612 County Line Rd | Chalfont, PA, 18914
Mailing Address | P.O. BOX 463 | Montgomeryville, PA, 18936

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Women's Group
Meeta Kumar 215-898-7021

Bharatiya Vidyalaya
Praveen Sharma 215-361-0145

Health and Human Services
Akkaraju Sarma 215-914-0236

9/02/2015

To whom it may concern:

Attached please find a special events permit for Bharatiya Temple
1612 County Line Rd, Montgomeryville, PA 18936.

The temple will be celebrating Ganesh Festival from Sept 16th – Sept 26th 2015. For this occasion, the temple would like to install four tents, one 60 x 120, one 40 x 80, one 30 x 40 and one 20 x 40 as replicated in the diagram attached. Additionally we may have a few 10 x 10 canopy's spread across the lawn area for refreshments, sitting area, information booth, sponsors etc.

The tents will be provided and installed by Rain or Shine. The company is professional, reliable and they have all the necessary certificates of insurance. All tents will have two full sides open at a minimum and Exit signs will be posted appropriately.

Please forward permit approval to the address below. If you have any further questions, I may be contacted (267) 939-9715.

Vipul Rathod
Vice President
(Bharatiya Temple and Bharatiya Cultural Center)
104 Green Tree Tavern Rd
North Wales, PA, 19454



MONTGOMERY TOWNSHIP BOARD OF SUPERVISORS
BOARD ACTION SUMMARY

SUBJECT: Consider Request for Waiver of Building Permit Fee – Narayan Guest House Building Permit - 1630 County Line Road

MEETING DATE: September 14, 2015 ITEM NUMBER: # 156.

MEETING/AGENDA: WORK SESSION ACTION XX NONE

REASON FOR CONSIDERATION: Operational: Policy: Discussion: xx Information:

INITIATED BY: Bruce Shoupe BOARD LIAISON: Michael J. Fox
Director of Planning and Zoning Chairman

BACKGROUND:

In the past, it has been the policy of the Board of Supervisors to waive nominal value permit fees for non-profit and religious organizations. The Township has received a request from the Todi Foundation to waive the building permit fee for the construction of a building to serve as living quarters for the Temple's priests. The fee calculated is \$5,478.24. However, a portion of the fees are necessary to pay for the 3rd party inspectors who perform the inspection required by the building code.

The Todi Foundation proposes to establish an escrow account in the amount of \$3,000 with the Township for the plan reviews and building inspection services to be provided for the construction of this building. The Township's Building Inspection Consultants review time will be charged to this escrow account.

ZONING, SUBDIVISION OR LAND DEVELOPMENT IMPACT:

None.

PREVIOUS BOARD ACTION: None.

ALTERNATIVES/OPTIONS:

To approve or not approve the request for the waiver of the permit fees, but instead require that an escrow account be established to cover the cost of the Township's Building Inspection Consulting services for this project.

BUDGET IMPACT:

None.

RECOMMENDATION:

Consistent with Township policy on permit fees, it is recommended that the Board approve the waiver of the building permit fees subject to the applicant posting an escrow in the amount of \$3,000 to pay for 3rd party inspection costs.

MOTION/RESOLUTION:

Resolution is attached.

MOTION: _____

SECOND: _____

ROLL CALL:

Robert J. Birch	Aye	Opposed	Abstain	Absent
Candyce Fluehr Chimera	Aye	Opposed	Abstain	Absent
Jeffrey W. McDonnell	Aye	Opposed	Abstain	Absent
Joseph P. Walsh	Aye	Opposed	Abstain	Absent
Michael J. Fox	Aye	Opposed	Abstain	Absent

DISTRIBUTION: Board of Supervisors, Frank R. Bartle, Esq.

Resolution #

BE IT RESOLVED by the Board of Supervisors of Montgomery Township that we hereby approve the request of the Todi Foundation for a waiver of Township building permit fees for the construction of the Narayan Guest House, located at 1630 County Line Road, subject to the posting of an escrow account in the amount of \$3,000 to be used for payment of inspection services by the Township's 3rd party inspection provider.

MOTION BY:

SECOND BY:

VOTE:

DATE:

xc: Applicant, F. Bartle, B. Shoupe, Minute Book, Resolution File, File

Todi Foundation

P.O. Box 348

Gwynedd Valley, Pa 19437-0348

RECEIVED

SEP 04 2015

MONTGOMERY TOWNSHIP

Montgomery Township Office of Planning and Zoning
1001 Stump Rd.
Montgomeryville, Pa 18936

Attn: Mr. Bruce Shoupe

Board of Supervisors:

'Narayan Guest House" is a new building at 1630 County Line Rd. The property is owned by the Todi Foundation, a non-profit organization which is deed restricted for Bharatiya Temple use only.

Mr. Nand Todi is in the process of selecting contractors and should have building permits submitted in one to two weeks.

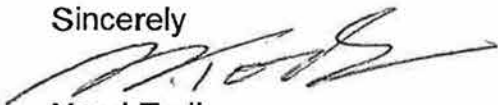
We are requesting a waiver of permit fees by the Township since the guest house will be used for Temple purposes only.

The Temple is excited at being able to expand within the Township and are grateful that the Township sees our potential and is willing to work with us in this endeavor.

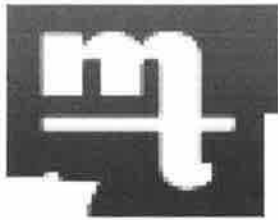
The Township has always been a partner in helping to build and improve our place of worship.

Thank you for your consideration

Sincerely



Nand Todi
Todi Foundation



DEPARTMENT OF PLANNING AND ZONING

1001 STUMP ROAD, MONTGOMERYVILLE, PA 18936-9605

Telephone: 215-393-6920 - Fax: 215-855-1498

www.montgomerytwp.org

CONSULTANT ESCROW FEE AGREEMENT

Narayan Guest House _____ Name of
Subdivision/Land Development/Project

1630 County Line Road _____
Location of Subdivision/Land Development/Project

Address Tax Unit(s)

I _____
Name of Owner/Developer and Firm if applicable

hereby agree and acknowledge that as owner/developer I will be responsible for any fees incurred when information provided to the Township are reviewed by the Montgomery Township consultants, for the plan review and building construction by Township consultant as deemed necessary or as may be required by law in accordance with the Township fee schedule of Montgomery Township as amended by resolution.

I herewith submit initial escrow monies in the following amount \$3000.00 and understand that additional funds may be needed for further plan review. The applicant Todi Foundation is hereby requesting a that the Township charge all consultant fees for the plan reviews and building construction for the above plan be assessed against the escrow account established with the Township.

Signature of Owner/Developer Date Signed

Owner/Developers Name (Please Print)

Address City

State Zip Code Telephone Number

Accepted by Department Director Date

**** NOTE:** The person signing this agreement will be the individual directly accountable for payment of the subject fees. Accordingly, if it is desired to assign this responsibility to another party or firm, said property or the appropriate officer of said firm must execute this document.

MONTGOMERY TOWNSHIP BOARD OF SUPERVISORS
BOARD ACTION SUMMARY

SUBJECT: Consider Waiver of Building Permit Fees – Bucks-Mont Chapter of the
National Association of the Remodeling Industry

MEETING DATE: September 14, 2015 ITEM NUMBER: **#15c.**

MEETING/AGENDA: WORK SESSION ACTION XX NONE

REASON FOR CONSIDERATION: Operational: Policy: Discussion: xx Information:

INITIATED BY: Bruce Shoupe BOARD LIAISON: Michael J. Fox
Director of Planning and Zoning Chairman

BACKGROUND:

In the past, it has been the policy of the Board of Supervisors to waive permit fees for non-profit and religious organizations. The Township has received a request from the Bucks-Mont NARI requesting that the building permit fee of \$304.00 be waived. This chapter provides free of charge building and remodeling services to local residents, schools and charitable organizations where there is an economic need as a result of a handicap or disability. They will be providing these services at 104 Brighton Circle.

ZONING, SUBDIVISION OR LAND DEVELOPMENT IMPACT:

None.

PREVIOUS BOARD ACTION: None.

ALTERNATIVES/OPTIONS: None.

BUDGET IMPACT: None.

RECOMMENDATION:

That the permit fee of \$304.00 be waived.

MOTION/RESOLUTION:

Resolution is attached.

MOTION: _____ SECOND: _____

ROLL CALL:

Robert J. Birch	Aye	Opposed	Abstain	Absent
Candyce Fluehr Chimera	Aye	Opposed	Abstain	Absent
Jeffrey W. McDonnell	Aye	Opposed	Abstain	Absent
Joseph P. Walsh	Aye	Opposed	Abstain	Absent
Michael J. Fox	Aye	Opposed	Abstain	Absent

DISTRIBUTION: Board of Supervisors, Frank R. Bartle, Esq.

Resolution #

BE IT RESOLVED by the Board of Supervisors of Montgomery Township that we hereby approve the request of the Bucks-Mont Chapter of the National Association of the Remodeling Industry to waive the \$304.00 building permit fee for the remodeling at 104 Brighton Circle.

MOTION BY:

SECOND BY:

VOTE:

DATE:

xc: Applicant, F. Bartle, B. Shoupe, Minute Book, Resolution File, File

MONTGOMERY TOWNSHIP BOARD OF SUPERVISORS
BOARD ACTION SUMMARY

SUBJECT: Consider Waiver of Special Events Permit Fees – Montgomery United Soccer Club – Soctoberfest

MEETING DATE: September 14, 2015

ITEM NUMBER: **#15d.**

MEETING/AGENDA: WORK SESSION

ACTION XX

NONE

REASON FOR CONSIDERATION: Operational: Policy: Discussion: xx Information:

INITIATED BY: Bruce Shoupe
Director of Planning and Zoning

BOARD LIAISON: Michael J. Fox
Chairman

BACKGROUND:

In the past, it has been the policy of the Board of Supervisors to waive permit fees for non-profit and religious organizations. The Township has received a request from Montgomery United Soccer Club to waive the special event permit fee for the Soctoberfest celebration to be held on October 5, 2015, at William F. Maule Park at Windlestrae.

ZONING, SUBDIVISION OR LAND DEVELOPMENT IMPACT:

None.

PREVIOUS BOARD ACTION:

None.

ALTERNATIVES/OPTIONS:

None.

BUDGET IMPACT:

None.

RECOMMENDATION:

That the permit fee for Montgomery United Soccer Club be waived.

MOTION/RESOLUTION:

Resolution is attached.

MOTION: _____

SECOND: _____

ROLL CALL:

Robert J. Birch	Aye	Opposed	Abstain	Absent
Candyce Fluehr Chimera	Aye	Opposed	Abstain	Absent
Jeffrey W. McDonnell	Aye	Opposed	Abstain	Absent
Joseph P. Walsh	Aye	Opposed	Abstain	Absent
Michael J. Fox	Aye	Opposed	Abstain	Absent

DISTRIBUTION: Board of Supervisors, Frank R. Bartle, Esq.

Resolution #

BE IT RESOLVED by the Board of Supervisors of Montgomery Township that we hereby approve the request of Montgomery United Soccer Club to waive the special event permit fee for the Soctoberfest celebration to be held on October 5, 2015, at William F. Maule Park at Windlestrae.

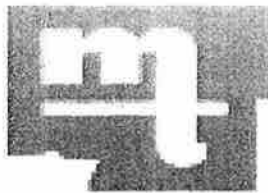
MOTION BY:

SECOND BY:

VOTE:

DATE:

xc: Applicant, F. Bartle, B. Shoupe, Minute Book, Resolution File, File



RECEIVED
JUN 14 2015

MONTGOMERY TOWNSHIP
DEPARTMENT OF PLANNING AND ZONING
1001 STUMP ROAD, MONTGOMERYVILLE, PA 18936-9605
Telephone: 215-393-6920 · Fax: 215-855-1498

Permit # 15070078 Blk/Unit # _____ Fee \$ _____ Ck # _____ Date 7-20-15

TEMPORARY SIGN SPECIAL EVENT - OUTDOOR SALES APPLICATION

A temporary event which may significantly impact public or private property, extend beyond the normal use or standards allowed by the zoning ordinance and exceeds normal vehicular and pedestrian traffic, may require the need for services of the Township's Police and Fire Departments. Such events include, but not limited to entertainment, amusement, cultural recognition, sporting events, arts & crafts or trade shows, sidewalk sales, special seasonal events, special automobile sales/shows, fund raising events and grand openings. Activities may not inhibit or block safe access by emergency responders or adversely impact access and parking required to serve the facility. Company picnics are exempt; unless a temporary structure is erected, which may require a building permit. **At the Regional Shopping Center, indoor special events require a permit but are not limited by the number of events per year. Temporary indoor retail sales at the Regional Shopping Center require a separate permit.**

Temporary sign permits shall be limited to no more than fourteen (14) permits per calendar year. A temporary sign permit is limited to maximum of 7-days per permit. Each sign is considered a separate permit. Permits are non-transferable. **Only one (1) ground sign permitted per street frontage, a maximum size of 32 square feet, set back 15' from the curb line and shall not obstruct view of traffic.** Permits for special events or outdoor sales shall be limited to no more than six (6) times per calendar year

Activities, such as hot air ballooning, skydiving events, hang gliding, bungee jumping, etc. as well as carnivals, circuses, festivals, fairs are not permitted unless the Zoning Hearing Board approves as a special exception. Fireworks displays (unless sponsored by the Township) are prohibited.

Application(s) **MUST** be submitted a minimum of **two (2) weeks** in advance of the event. All vendors or merchants must obtain a Temporary retail sales permit prior to issuance of permit, unless vendor is already registered with the Township.

SITE ADDRESS			<u>Maple Park Kansas Rd. - 1137 1137</u>		
PROPERTY OWNER					
<u>Montgomery Twp.</u>					
ADDRESS			PHONE		FAX
APPLICANT					
<u>Dwight Willenson on behalf of Mont. Soccer</u>					
ADDRESS			PHONE		FAX
<u>105 Wren Ct North Wales PA 19154</u>			<u>215-872-1908</u>		
Describe Special Event :					
Number of People <u>1000</u>					

TYPE OF APPLICATION :	Start Date	End Date
	<u>10/5</u>	<u>10/5</u>
<input type="checkbox"/> Temporary Sign <input checked="" type="checkbox"/> Special Event-Outdoor/Sidewalk Sales \$ 50.00 <input type="checkbox"/> Special Event w/ tent \$ 100.00		
TEMPORARY SIGN PERMIT		LIMITED MAXIMUM 7-DAYS PER PERMIT
<input type="checkbox"/> Temp Sign to 32 SF - 7 per days - ground only \$ 20.00		<input type="checkbox"/> Temp Sign to 48 SF - 7 per days - building \$ 25.00
<input type="checkbox"/> Temp Sign to 60 SF - 7 per days - building \$ 30.00		<input type="checkbox"/> Temp Sign to 90 SF - 7 per days - building \$ 40.00
<input type="checkbox"/> Temp Sign p to 120 SF - 7 per days - building \$ 50.00		<input type="checkbox"/> Each additional 7-days - 50% fee at initial issuance
TOTAL FEE		\$

TEMP. SIGN - SPECIAL EVENTS



July 17, 2015

To Whom It May Concern:

Montgomery United Soccer Club is looking to get our permit fees waived by Montgomery Twp. for events we hold on township fields during the 2015 season.

Thanks and please call me if you have any questions.

Sincerely,



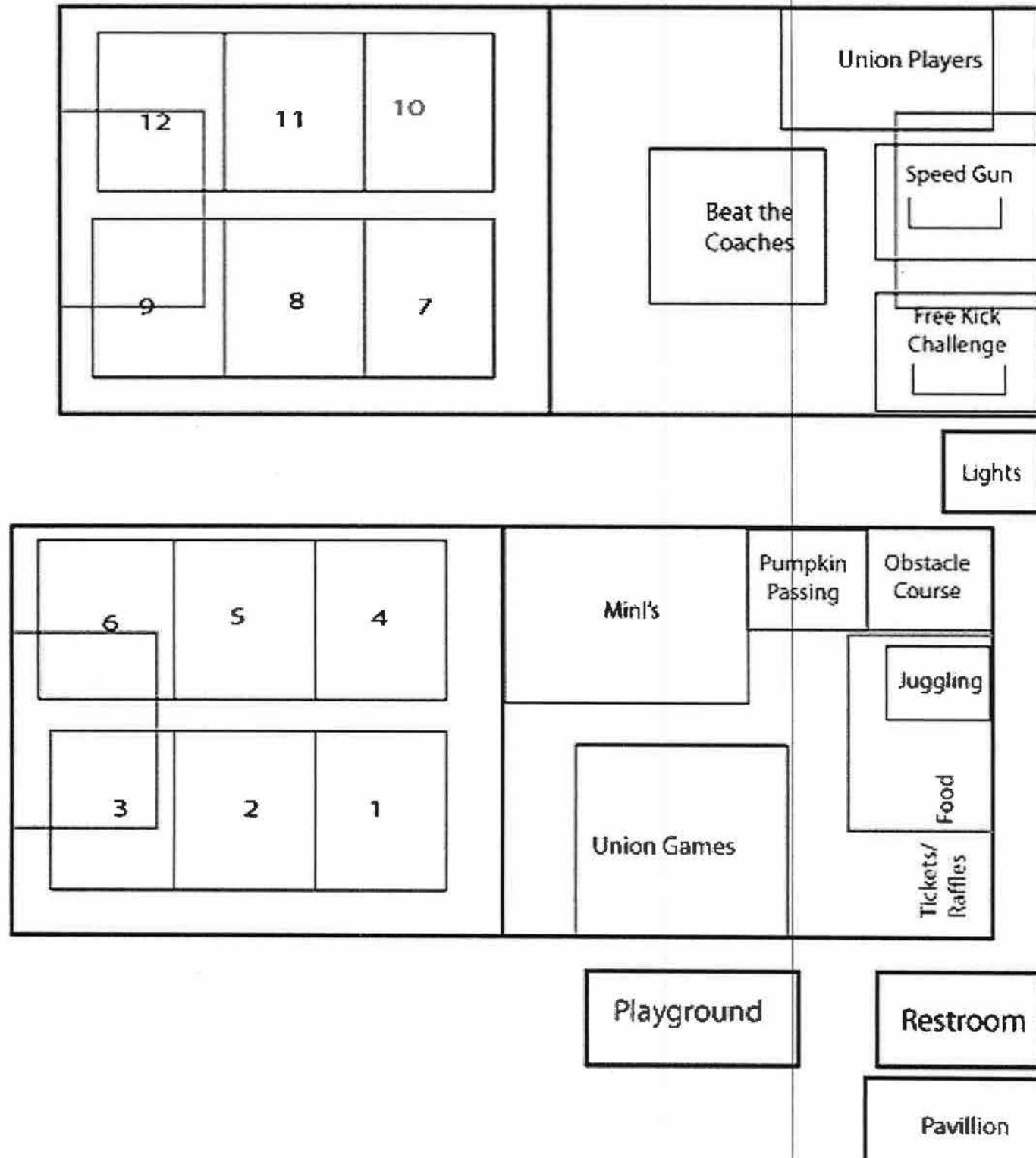
David Jones 'dj'
Executive Director
Montgomery United Soccer Club
215.778.7747

dj@MonUsoccer.org

Montgomery United Soccer Club
650 N. Cannon Avenue
Lansdale, PA 19446
215.855.9002

MonUsoccer.org

Driveway/parking lot



walkway

MONTGOMERY TOWNSHIP BOARD OF SUPERVISORS
BOARD ACTION SUMMARY

SUBJECT: Consider Construction Escrow Release #6 - LDS#639 – Maple Dr /Crystal Rd
Townhouse Project

MEETING DATE: September 14, 2015

ITEM NUMBER: #16a.

MEETING/AGENDA: WORK SESSION ACTION ☒ NONE

REASON FOR CONSIDERATION: Operational: ☒ Information: Discussion: Policy:

INITIATED BY: Bruce Shoupe
Director of Planning and Zoning

BOARD LIAISON: Michael J. Fox
Chairman

BACKGROUND:

Attached is a construction escrow release requested by Brian Grant for the Townhouses at Crystal and Maple, as recommended by the Township Engineer. The original amount of the escrow was \$876,309.28, held as a Letter of Credit with Univest Bank. This is the sixth escrow release for this project. The current release is in the amount of \$80,363.47. The new balance would be \$496,148.54.

ZONING, SUBDIVISION OR LAND DEVELOPMENT IMPACT:

None

PREVIOUS BOARD ACTION:

None

ALTERNATIVES/OPTIONS:

Approve or not approve the construction escrow release.

BUDGET IMPACT:

None.

RECOMMENDATION:

That this construction escrow be released.

MOTION/RESOLUTION:

The Board of Supervisors hereby authorize a construction escrow release in the amount of \$80,363.47, as recommended by the Township Engineer for the Maple Drive/Crystal Road Townhouse project.

MOTION _____

SECOND _____

ROLL CALL:

Robert J. Birch	Aye	Opposed	Abstain	Absent
Candyece Fluehr Chimera	Aye	Opposed	Abstain	Absent
Jeffrey W. McDonnell	Aye	Opposed	Abstain	Absent
Joseph P. Walsh	Aye	Opposed	Abstain	Absent
Michael J. Fox	Aye	Opposed	Abstain	Absent

DISTRIBUTION: Board of Supervisors, Frank R. Bartle, Esq.

RELEASE OF ESCROW FORM

Russell S. Dunlevy, P.E.
Executive Vice President
Gilmore & Associates, Inc.
65 East Butler Avenue, Suite 100
New Britain, PA 18901
215-345-4330

Date: 09/09/2015

Development: Maple Dr / Crystal Rd Townhouse Project - LD/S #639

G&A Project #: 2012-10074

Release #: 6

Dear Mr. Dunlevy:

This is an escrow release request in the amount of \$80,363.47. Enclosed is a copy of our escrow spreadsheet with the quantities noted.

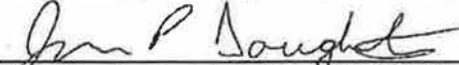
ESCROW RELEASE REQUESTS ARE LIMITED TO ONE PER MONTH.

Mr. Lawrence Gegan
Township Manager
Montgomery Township
1001 Stump Road
Montgomeryville, PA 18936

Date: 09/10/2015

Dear Mr. Gegan:

We have reviewed the developer's request for an escrow release. We therefore, recommend that \$80,363.47 be released. These improvements will be subject to a final observation prior to dedication and again at the end of the maintenance period. Any deficiencies will be required to be corrected by the developer.

 For RSA
Russell S. Dunlevy, P.E., Executive VP, Gilmore & Associates, Inc.

Resolution # _____

WHEREAS, a request for release of escrow was received from Crystal Road Enterprises, LLC for Maple Dr / Crystal Rd Townhouse Project - LD/S #639, in the amount of \$80,363.47, on the representation that work set forth in the Land Development Agreement to the extent has been completed and; WHEREAS, said request has been reviewed by the Township Engineer who recommends release of \$80,363.47; NOW, THEREFORE, BE IT RESOLVED by the Board of Supervisors of Montgomery Township that we do hereby authorize release of \$80,363.47; in accordance with the developer's request, and the officers of the Township are authorized to take the necessary action to obtain release of said sum.
BE IT FURTHER RESOLVED that Township records indicate that escrow has been deposited via Letter of Credit with Montgomery Township in total sum of \$876,309.28 pursuant to a signed Land Development Agreement and that \$299,797.27 has previously been released from escrow. Therefore, the action of the Board releasing said sum leaves a new balance of \$496,148.54 in escrow.

MOTION BY _____

VOTE: _____

SECOND BY: _____

DATED: _____

RELEASED BY: _____

Department Director



GILMORE & ASSOCIATES, INC.

ENGINEERING & CONSULTING SERVICES

VIA EMAIL

September 10, 2015

File No. 2012-10074

Mr. Lawrence Gregan, Township Manager
Montgomery Township
1001 Stump Road
Montgomeryville, PA 18936

Reference: Maple Dr / Crystal Rd Townhouse Project – LD/S #639
Financial Security Release 6

Dear Larry:

We have received and reviewed the Request for Escrow Release for the above-referenced project. This letter is to certify that the improvements attached to this letter in the amount of \$80,363.47 have been completed. Please find enclosed a copy of our escrow calculations and the application for release of funds for your use.

Please be advised that these improvements will be subject to a final inspection prior to dedication and again at the end of the maintenance period. Any deficiencies will be required to be corrected by the developer.

Should you have any further questions or require any additional information, please do not hesitate to contact our office.

Sincerely,

James P. Dougherty, P.E.
Gilmore & Associates, Inc.
Township Engineers

JPD/

Enclosures: As Referenced

cc: Bruce S. Shoupe, Director of Planning and Zoning
Marita A. Stoerrle, Development Coordinator - Montgomery Township
Kevin Johnson, P.E. - Traffic Planning & Design, Inc.
Judith Stern Goldstein, ASLA, R.L.A. - Boucher & James, Inc.
Brian C. Grant - Select Properties

BUILDING ON A FOUNDATION OF EXCELLENCE

65 E. Butler Avenue | Suite 100 | New Britain, PA 18901
Phone: 215-345-4330 | Fax: 215-345-8606
www.gilmore-assoc.com



ESCROW STATUS REPORT

SUMMARY OF ESCROW ACCOUNT

RELEASE NO.: 6
RELEASE DATE: 10-Sep-2015

PROJECT NAME: Maple Dr / Crystal Rd Townhouse Project
PROJECT NO.: 2012-10074
TOWNSHIP NO.: LD/S #639
PROJECT OWNER: Crystal Road Enterprises, LLC

TOTAL CONSTRUCTION: \$ 796,644.80
TOTAL CONSTRUCTION CONTINGENCY (10%): \$ 79,664.48
TOTAL CONSTRUCTION ESCROW POSTED: \$ 876,309.28

ORIGINAL CONSTRUCTION AMOUNT: \$ 876,309.28

AMOUNT OF THIS RELEASE: \$ 80,363.47

MUNICIPALITY: Montgomery Township
ESCROW AGENT: Univest National Bank
TYPE OF SECURITY: Letter of Credit
AGREEMENT DATE: 10-Oct-2014

TOTAL ENG/INSP/LEGAL (CASH ACCOUNT): \$ 39,900.00
TOTAL ADMINISTRATION (CASH ACCOUNT): \$ 5,000.00

PRIOR CONSTRUCTION RELEASED: \$ 299,797.27
TOTAL CONSTRUCTION RELEASED TO DATE: \$ 380,160.74

BALANCE AFTER CURRENT RELEASE: \$ 496,148.54

MAINTENANCE BOND AMOUNT (15%): \$ 119,496.72

ESCROW TABULATION					CURRENT RELEASE		RELEASED TO DATE		AVAILABLE FOR RELEASE		RELEASE REQ # 7
CONSTRUCTION ITEMS					QUANTITY	TOTAL AMOUNT	QUANTITY	TOTAL AMOUNT	QUANTITY	TOTAL AMOUNT	QUANTITY
I. EARTHWORK											
1. Clearing & Grubbing	LS	1	\$ 40,331.00	\$ 40,331.00		\$ -	1.00	\$ 40,331.00		\$ -	
2. Strip Topsoil	CY	5,163	\$ 2.93	\$ 15,127.59		\$ -	5,163.00	\$ 15,127.59		\$ -	
3. Cut Fill & Compact	CY	7,954	\$ 3.22	\$ 25,611.88		\$ -	7,954.00	\$ 25,611.88		\$ -	
4. Grade	SY	6,150	\$ 0.23	\$ 1,414.50	3,025.00	\$ 695.75	6,150.00	\$ 1,414.50		\$ -	
II. EROSION CONTROL											
<i>Erosion & Sediment Controls</i>											
1. Construction Entrance	EA	1	\$ 3,392.00	\$ 3,392.00		\$ -	1.00	\$ 3,392.00		\$ -	
2. 18" Silt Fence	LF	620	\$ 1.56	\$ 967.20	620.00	\$ 967.20	620.00	\$ 967.20		\$ -	
3. Super Silt Fence	LF	798	\$ 6.45	\$ 5,147.10		\$ -	798.00	\$ 5,147.10		\$ -	
4. Tree Protection Fence	LF	1,420	\$ 1.54	\$ 2,186.80		\$ -	1,420.00	\$ 2,186.80		\$ -	
5. Temporary Vegetation - Excess Fill Piles	SY	4,850	\$ 0.29	\$ 1,406.50		\$ -		\$ -	4,850.00	\$ 1,406.50	
6. Grade Swales #A,B,C,D,E,F	SY	1,230	\$ 0.55	\$ 676.50	1,230.00	\$ 676.50	1,230.00	\$ 676.50		\$ -	
7. Swale Matting #A,B,C,D,E,F (North American Green S-150br)	SY	1,230	\$ 1.65	\$ 2,029.50		\$ -		\$ -	1,230.00	\$ 2,029.50	
8. Rock Filters	EA	2	\$ 132.00	\$ 264.00		\$ -		\$ -	2.00	\$ 264.00	
9. Permanent Rake & Vegetation (Lawn Area)	LS	1	\$ 4,000.00	\$ 4,000.00		\$ -		\$ -	1.00	\$ 4,000.00	
<i>Sediment Trap C</i>											
1. Strip Topsoil	CY	240	\$ 3.32	\$ 796.80		\$ -	240.00	\$ 796.80		\$ -	
2. Cut Fill & Compact	CY	771	\$ 3.68	\$ 2,837.28		\$ -	771.00	\$ 2,837.28		\$ -	
3. Grade	SY	1,072	\$ 0.28	\$ 300.16		\$ -	1,072.00	\$ 300.16		\$ -	
4. Core Cut & Fill Keyway	LF	250	\$ 10.08	\$ 2,520.00		\$ -	250.00	\$ 2,520.00		\$ -	
5. Respread Topsoil	CY	240	\$ 4.24	\$ 1,017.60		\$ -	240.00	\$ 1,017.60		\$ -	
6. Grade Spillway	SY	202	\$ 0.48	\$ 96.96		\$ -	202.00	\$ 96.96		\$ -	
7. Spillway Matting (North American Green C-125	SY	202	\$ 6.00	\$ 1,212.00		\$ -	202.00	\$ 1,212.00		\$ -	
8. Permanent Rake & Vegetation (Meadow Mix)	SF	9,800	\$ 0.15	\$ 1,470.00		\$ -		\$ -	9,800.00	\$ 1,470.00	
9. 15" CMP Temporary Riser	EA	1	\$ 1,554.00	\$ 1,554.00		\$ -	1.00	\$ 1,554.00		\$ -	
10. 18" RCP	LF	30	\$ 39.23	\$ 1,176.90		\$ -	30.00	\$ 1,176.90		\$ -	
11. Outlet Structure w/Wier Wall and Precast Footer with Trash Rack, #23	EA	1	\$ 3,081.00	\$ 3,081.00		\$ -	1.00	\$ 3,081.00		\$ -	



ESCROW STATUS REPORT

SUMMARY OF ESCROW ACCOUNT

RELEASE NO.: 6
RELEASE DATE: 10-Sep-2015

PROJECT NAME: Maple Dr / Crystal Rd Townhouse Project
PROJECT NO.: 2012-10074
TOWNSHIP NO.: LD/S #639
PROJECT OWNER: Crystal Road Enterprises, LLC

TOTAL CONSTRUCTION: \$ 796,644.80
TOTAL CONSTRUCTION CONTINGENCY (10%): \$ 79,664.48
TOTAL CONSTRUCTION ESCROW POSTED: \$ 876,309.28

ORIGINAL CONSTRUCTION AMOUNT: \$ 876,309.28

AMOUNT OF THIS RELEASE: \$ 80,363.47

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ESCROW AGENT: Univest National Bank
TYPE OF SECURITY: Letter of Credit
AGREEMENT DATE: 10-Oct-2014

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TOTAL ADMINISTRATION (CASH ACCOUNT): \$ 5,000.00

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TOTAL CONSTRUCTION RELEASED TO DATE: \$ 380,160.74

BALANCE AFTER CURRENT RELEASE: \$ 496,148.54

MAINTENANCE BOND AMOUNT (15%): \$ 119,496.72

ESCROW TABULATION					CURRENT RELEASE		RELEASED TO DATE		AVAILABLE FOR RELEASE		RELEASE REQ # 7
CONSTRUCTION ITEMS					QUANTITY	TOTAL AMOUNT	QUANTITY	TOTAL AMOUNT	QUANTITY	TOTAL AMOUNT	QUANTITY
12. Antiseep Collars	EA	2	\$ 1,306.00	\$ 2,612.00		\$ -	2.00	\$ 2,612.00		\$ -	
13. 18" DW Endwalls, #24	EA	1	\$ 1,500.00	\$ 1,500.00		\$ -	1.00	\$ 1,500.00		\$ -	
14. R-4 Rip Rap Dissipator	TON	8	\$ 77.20	\$ 617.60		\$ -	8.00	\$ 617.60		\$ -	
15. Sediment Trap As-Built Plan	LS	1	\$ 500.00	\$ 500.00		\$ -		\$ -	1.00	\$ 500.00	
Rain Gardens #1,2,B1,C1											
1. Strip Topsoil - Rain Garden #1,2,B1,C1	CY	450	\$ 3.32	\$ 1,494.00	450.00	\$ 1,494.00	450.00	\$ 1,494.00		\$ -	
2. Cut Fill & Compact - Rain Garden #1,2,B1,C1	CY	4,976	\$ 3.68	\$ 18,311.68	2,488.00	\$ 9,155.84	2,488.00	\$ 9,155.84	2,488.00	\$ 9,155.84	
3. Grade - Rain Garden #1,2,B1,C1	SY	1,825	\$ 0.28	\$ 511.00	913.00	\$ 255.64	913.00	\$ 255.64	912.00	\$ 255.36	
4. Respread Topsoil - Rain Garden #1,2,B1,C1	CY	450	\$ 4.24	\$ 1,908.00		\$ -		\$ -	450.00	\$ 1,908.00	
5. Permanent Rake & Vegetation (Meadow Mix) - RG #1,2,B1,C1	SF	1,800	\$ 0.15	\$ 270.00		\$ -		\$ -	1,800.00	\$ 270.00	
6. Rain Gardens # 1, 2, B1, B2 As-Built Plans	EA	4	\$ 250.00	\$ 1,000.00		\$ -		\$ -	4.00	\$ 1,000.00	
III. STORM SEWER											
1. 15" RCP	LF	76	\$ 30.89	\$ 2,347.64		\$ -	76.00	\$ 2,347.64		\$ -	
2. 18" RCP	LF	751	\$ 30.13	\$ 22,627.63		\$ -	751.00	\$ 22,627.63		\$ -	
3. 36" HDPE (Dual Runs) w/2a Mod 6" Under Pipe to 12" Over	LF	224	\$ 110.00	\$ 24,640.00	224.00	\$ 24,640.00	224.00	\$ 24,640.00		\$ -	
4. 48" HDPE Pipe w/2a Mod 6" Under Pipe to 12" Over	LF	80	\$ 88.91	\$ 7,112.80		\$ -	80.00	\$ 7,112.80		\$ -	
5. Type C Inlet (Average Depth 3.84') #5,8,9,11,16	EA	4	\$ 1,705.00	\$ 6,820.00		\$ -	4.00	\$ 6,820.00		\$ -	
6. Type C Inlet Mod (Average Depth 4.13') 42"x48"#15	EA	1	\$ 1,820.00	\$ 1,820.00		\$ -	1.00	\$ 1,820.00		\$ -	
7. Type M Inlet Mod w/Weir Wall (Average Depth 4.48') 42"x48" #12	EA	1	\$ 2,075.00	\$ 2,075.00		\$ -	1.00	\$ 2,075.00		\$ -	
8. Type M Inlet (Average Depth 4.23') #1,2,3,4,6,14,17-17-2,17a,21	EA	11	\$ 1,683.00	\$ 18,513.00	2.00	\$ 3,366.00	11.00	\$ 18,513.00		\$ -	
9. Type M Inlet (Average Depth 4.33') #7,10	EA	2	\$ 1,618.00	\$ 3,236.00		\$ -	2.00	\$ 3,236.00		\$ -	
10. Type C Inlet Mod 24"x72"(Average Depth 7.18') #18-1,18-2	EA	2	\$ 3,029.00	\$ 6,058.00		\$ -	2.00	\$ 6,058.00		\$ -	
11. Type C Inlet Mod (Average Depth 7.38') 2'x12" #19	EA	1	\$ 3,571.00	\$ 3,571.00		\$ -	1.00	\$ 3,571.00		\$ -	
12. 18" DW Endwalls #13,22	EA	2	\$ 1,500.00	\$ 3,000.00	1.00	\$ 1,500.00	2.00	\$ 3,000.00		\$ -	
13. 48" DW Endwalls #20	EA	1	\$ 4,000.00	\$ 4,000.00		\$ -	1.00	\$ 4,000.00		\$ -	
14. R-4 Rip Rap Dissipator	TON	51	\$ 55.43	\$ 2,826.93		\$ -	51.00	\$ 2,826.93		\$ -	

ESCROW STATUS REPORT



Gilmore & Associates, Inc.
Engineering and Consulting Services

SUMMARY OF ESCROW ACCOUNT

RELEASE NO.: 6
RELEASE DATE: 10-Sep-2015

PROJECT NAME:	Maple Dr / Crystal Rd Townhouse Project	TOTAL CONSTRUCTION:	\$ 796,644.80	ORIGINAL CONSTRUCTION AMOUNT:	\$ 876,309.28
PROJECT NO.:	2012-10074	TOTAL CONSTRUCTION CONTINGENCY (10%):	\$ 79,664.48	AMOUNT OF THIS RELEASE:	\$ 80,363.47
TOWNSHIP NO.:	LD/S #639	TOTAL CONSTRUCTION ESCROW POSTED:	\$ 876,309.28	PRIOR CONSTRUCTION RELEASED:	\$ 299,797.27
PROJECT OWNER:	Crystal Road Enterprises, LLC			TOTAL CONSTRUCTION RELEASED TO DATE:	\$ 380,160.74
MUNICIPALITY:	Montgomery Township	TOTAL ENG/INSP/LEGAL (CASH ACCOUNT):	\$ 39,900.00	BALANCE AFTER CURRENT RELEASE:	\$ 496,148.54
ESCROW AGENT:	Univest National Bank	TOTAL ADMINISTRATION (CASH ACCOUNT):	\$ 5,000.00		
TYPE OF SECURITY:	Letter of Credit				
AGREEMENT DATE:	10-Oct-2014	MAINTENANCE BOND AMOUNT (15%):	\$ 119,496.72		

ESCROW TABULATION					CURRENT RELEASE		RELEASED TO DATE		AVAILABLE FOR RELEASE		RELEASE REQ # 7
CONSTRUCTION ITEMS					QUANTITY	TOTAL AMOUNT	QUANTITY	TOTAL AMOUNT	QUANTITY	TOTAL AMOUNT	QUANTITY
IV. DETENTION FACILITY #B2											
1. Infiltration Bed #B2 w/36" Storm Tank	LS	1	\$ 90,000.00	\$ 90,000.00		\$ -	1.00	\$ 90,000.00		\$ -	
2. As-Built Plan	EA	1	\$ 500.00	\$ 500.00		\$ -		\$ -	1.00	\$ 500.00	
V. ROADWAY SITE											
1. Excavate & Backfill, Curb - Roadway Site	LF	1,721	\$ 3.19	\$ 5,489.99	1,721.00	\$ 5,489.99	1,721.00	\$ 5,489.99		\$ -	
2. 18" Belgian Block Curb - Roadway Site	LF	1,721	\$ 14.00	\$ 24,094.00	1,721.00	\$ 24,094.00	1,721.00	\$ 24,094.00		\$ -	
3. Fine Grade Paving - Roadway Site	SY	3,790	\$ 1.12	\$ 4,244.80	3,790.00	\$ 4,244.80	3,790.00	\$ 4,244.80		\$ -	
4. 3" 2a Modified - Roadway Site	SY	3,790	\$ 3.01	\$ 11,407.90		\$ -		\$ -	3,790.00	\$ 11,407.90	
5. 5" BCBC Paving - Roadway Site	SY	3,790	\$ 19.00	\$ 72,010.00		\$ -		\$ -	3,790.00	\$ 72,010.00	
6. 1.5" Wearing Paving	SY	3,790	\$ 7.12	\$ 26,984.80		\$ -		\$ -	3,790.00	\$ 26,984.80	
7. Street Sweeping	SY	3,790	\$ 0.12	\$ 454.80		\$ -		\$ -	3,790.00	\$ 454.80	
8. Tack Coat	SY	3,790	\$ 0.19	\$ 720.10		\$ -		\$ -	3,790.00	\$ 720.10	
9. Curb & Joint Seal	LF	1,721	\$ 0.63	\$ 1,084.23		\$ -		\$ -	1,721.00	\$ 1,084.23	
10. Striping	LS	1	\$ 500.00	\$ 500.00		\$ -		\$ -	1.00	\$ 500.00	
Roadway - Emergency Access											
11. Excavate for Widening	SY	93	\$ 8.34	\$ 775.62		\$ -		\$ -	93.00	\$ 775.62	
12. Permanent Paving Repairs (5" BCBC, 1.5" Wearing)	SY	93	\$ 99.00	\$ 9,207.00		\$ -		\$ -	93.00	\$ 9,207.00	
Emergency Access											
13. Fine Grade & Compact	SY	983	\$ 1.31	\$ 1,287.73		\$ -		\$ -	983.00	\$ 1,287.73	
14. Pave (8" 3A Modified Stone, 5" BCBC Asphalt Paving)	SF	8,838	\$ 2.76	\$ 24,392.88		\$ -		\$ -	8,838.00	\$ 24,392.88	
15. Posts (2), Chain (1), Knox Box (1), Pad Lock (1)	EA	2	\$ 550.00	\$ 1,100.00		\$ -		\$ -	2.00	\$ 1,100.00	
VI. ONSITE SIDEWALKS											
1. Excavate and Place 4" 2a Modified for Sidewalks and Driveway Aprons	SF	8,610	\$ 1.56	\$ 13,431.60		\$ -		\$ -	8,610.00	\$ 13,431.60	
2. Sidewalks (4")	SF	2,690	\$ 5.72	\$ 15,386.80		\$ -		\$ -	2,690.00	\$ 15,386.80	
3. Driveway Aprons (6" and wire)	SF	5,920	\$ 10.00	\$ 59,200.00		\$ -		\$ -	5,920.00	\$ 59,200.00	
4. Handicap Ramps (incl. DWS)	EA	8	\$ 500.00	\$ 4,000.00		\$ -		\$ -	8.00	\$ 4,000.00	



ESCROW STATUS REPORT

SUMMARY OF ESCROW ACCOUNT

RELEASE NO.: 6
RELEASE DATE: 10-Sep-2015

PROJECT NAME:	Maple Dr / Crystal Rd Townhouse Project	TOTAL CONSTRUCTION:	\$ 796,644.80	ORIGINAL CONSTRUCTION AMOUNT:	\$ 876,309.28
PROJECT NO.:	2012-10074	TOTAL CONSTRUCTION CONTINGENCY (10%):	\$ 79,664.48		
TOWNSHIP NO.:	LD/S #639	TOTAL CONSTRUCTION ESCROW POSTED:	\$ 876,309.28	AMOUNT OF THIS RELEASE:	\$ 80,363.47
PROJECT OWNER:	Crystal Road Enterprises, LLC				
MUNICIPALITY:	Montgomery Township	TOTAL ENG/INSP/LEGAL (CASH ACCOUNT):	\$ 39,900.00	PRIOR CONSTRUCTION RELEASED:	\$ 299,797.27
ESCROW AGENT:	Univest National Bank	TOTAL ADMINISTRATION (CASH ACCOUNT):	\$ 5,000.00	TOTAL CONSTRUCTION RELEASED TO DATE:	\$ 380,160.74
TYPE OF SECURITY:	Letter of Credit				
AGREEMENT DATE:	10-Oct-2014	MAINTENANCE BOND AMOUNT (15%):	\$ 119,496.72	BALANCE AFTER CURRENT RELEASE:	\$ 496,148.54

ESCROW TABULATION					CURRENT RELEASE		RELEASED TO DATE		AVAILABLE FOR RELEASE		RELEASE REQ # 7
CONSTRUCTION ITEMS					QUANTITY	TOTAL AMOUNT	QUANTITY	TOTAL AMOUNT	QUANTITY	TOTAL AMOUNT	QUANTITY
VII. RAIN GARDEN CONVERSION											
1. Excavate Rain Garden Areas for Compost and Underdrain #1,2,B1,C1	EA	4	\$ 13,357.00	\$ 53,428.00		\$ -		\$ -	4.00	\$ 53,428.00	
2. As-Built Plan	EA	4	\$ 250.00	\$ 1,000.00		\$ -		\$ -	4.00	\$ 1,000.00	
VIII. STREET LIGHTS											
1. Street Lights	EA	4	\$ 3,000.00	\$ 12,000.00		\$ -		\$ -	4.00	\$ 12,000.00	
IX. LANDSCAPING											
Shade Trees											
1. <i>Acer rubrum</i> - Red Maple (3" Cal.)	EA	27	\$ 350.00	\$ 9,450.00		\$ -		\$ -	27.00	\$ 9,450.00	
2. <i>Acer saccharum</i> - Sugar Maple (3" Cal.)	EA	16	\$ 350.00	\$ 5,600.00		\$ -		\$ -	16.00	\$ 5,600.00	
3. <i>Gleditsia triacanthos</i> var. <i>inermis</i> - Thornless Honeylocust (3" Cal.)	EA	16	\$ 350.00	\$ 5,600.00		\$ -		\$ -	16.00	\$ 5,600.00	
4. <i>Liquidambar styraciflua</i> - Sweetgum (3" Cal.)	EA	21	\$ 350.00	\$ 7,350.00		\$ -		\$ -	21.00	\$ 7,350.00	
5. <i>Liriodendron tulipifera</i> - Tulip Poplar (3" Cal.)	EA	15	\$ 350.00	\$ 5,250.00		\$ -		\$ -	15.00	\$ 5,250.00	
6. <i>Platanus x acerifolia</i> - London Plain Tree (3" Cal.)	EA	21	\$ 350.00	\$ 7,350.00		\$ -		\$ -	21.00	\$ 7,350.00	
7. <i>Quercus palustris</i> - Pin Oak (3" Cal.)	EA	24	\$ 350.00	\$ 8,400.00		\$ -		\$ -	24.00	\$ 8,400.00	
Evergreen Trees											
8. <i>Pinus strobus</i> - Eastern White Pine (8' Ht.)	EA	11	\$ 250.00	\$ 2,750.00		\$ -		\$ -	11.00	\$ 2,750.00	
9. <i>Pseudotsuga menziesii</i> - Douglas Fir (8' Ht.)	EA	14	\$ 250.00	\$ 3,500.00		\$ -		\$ -	14.00	\$ 3,500.00	
10. <i>Picea abies</i> - Norway Spruce (8' Ht.)	EA	14	\$ 250.00	\$ 3,500.00		\$ -		\$ -	14.00	\$ 3,500.00	
Ornamental/ Flowering Trees											
11. <i>Amelanchier canadensis</i> - Shadblow (8' Ht.)	EA	17	\$ 325.00	\$ 5,525.00		\$ -		\$ -	17.00	\$ 5,525.00	
12. <i>Magnolia virginiana</i> - Sweetbay Magnolia (8' Ht.)	EA	15	\$ 325.00	\$ 4,875.00		\$ -		\$ -	15.00	\$ 4,875.00	
Deciduous Shrubs											
13. <i>Aronia arbutifolia</i> - Red Chokeberry (30" Ht.)	EA	19	\$ 65.00	\$ 1,235.00		\$ -		\$ -	19.00	\$ 1,235.00	
14. <i>Clethra alnifolia</i> - Summersweet (30" Ht.)	EA	19	\$ 65.00	\$ 1,235.00		\$ -		\$ -	19.00	\$ 1,235.00	
15. <i>Cornus stolonifera</i> - Red Twig Dogwood (30" Ht.)	EA	23	\$ 65.00	\$ 1,495.00		\$ -		\$ -	23.00	\$ 1,495.00	
16. <i>Forsythia x intermedia</i> - Forsythia (30" Ht.)	EA	15	\$ 65.00	\$ 975.00		\$ -		\$ -	15.00	\$ 975.00	
17. <i>Ilex verticillata</i> - Winterberry Holly (30" Ht.)	EA	9	\$ 65.00	\$ 585.00		\$ -		\$ -	9.00	\$ 585.00	
18. <i>Itea virginica</i> 'Henry's Gamet' - Itea (30" Ht.)	EA	19	\$ 65.00	\$ 1,235.00		\$ -		\$ -	19.00	\$ 1,235.00	
19. <i>Viburnum dentatum</i> - Arrowwood Viburnum (30" Ht.)	EA	8	\$ 65.00	\$ 520.00		\$ -		\$ -	8.00	\$ 520.00	



ESCROW STATUS REPORT

SUMMARY OF ESCROW ACCOUNT

RELEASE NO.: 6
RELEASE DATE: 10-Sep-2015

PROJECT NAME:	Maple Dr / Crystal Rd Townhouse Project	TOTAL CONSTRUCTION:	\$ 796,644.80	ORIGINAL CONSTRUCTION AMOUNT:	\$ 876,309.28
PROJECT NO.:	2012-10074	TOTAL CONSTRUCTION CONTINGENCY (10%):	\$ 79,664.48	AMOUNT OF THIS RELEASE:	\$ 80,363.47
TOWNSHIP NO.:	LD/S #639	TOTAL CONSTRUCTION ESCROW POSTED:	\$ 876,309.28	PRIOR CONSTRUCTION RELEASED:	\$ 299,797.27
PROJECT OWNER:	Crystal Road Enterprises, LLC			TOTAL CONSTRUCTION RELEASED TO DATE:	\$ 380,160.74
MUNICIPALITY:	Montgomery Township	TOTAL ENG/INSP/LEGAL (CASH ACCOUNT):	\$ 39,900.00	BALANCE AFTER CURRENT RELEASE:	\$ 496,148.54
ESCROW AGENT:	Univest National Bank	TOTAL ADMINISTRATION (CASH ACCOUNT):	\$ 5,000.00		
TYPE OF SECURITY:	Letter of Credit				
AGREEMENT DATE:	10-Oct-2014	MAINTENANCE BOND AMOUNT (15%):	\$ 119,496.72		

ESCROW TABULATION					CURRENT RELEASE		RELEASED TO DATE		AVAILABLE FOR RELEASE		RELEASE REQ # 7	
					TOTAL		TOTAL		TOTAL			
CONSTRUCTION ITEMS		UNITS	QUANTITY	UNIT PRICE	TOTAL AMOUNT	QUANTITY	AMOUNT	QUANTITY	AMOUNT	QUANTITY	AMOUNT	QUANTITY
X. <u>OTHER</u>												
1. Construction Stakeout		LS	1	\$ 25,225.00	\$ 25,225.00	0.15	\$ 3,783.75	0.90	\$ 22,601.60	0.10	\$ 2,623.40	
2. Pins and Monuments		EA	1	\$ 1,800.00	\$ 1,800.00		\$ -		\$ -	1.00	\$ 1,800.00	
3. As-Builts (Final Site)		EA	1	\$ 4,500.00	\$ 4,500.00		\$ -		\$ -	1.00	\$ 4,500.00	
XI. <u>CONTINGENCY</u>												
1. 10% Contingency		LS	1		\$ 79,664.48		\$ -		\$ -	1.00	\$ 79,664.48	
(Released upon certification of completion and receipt of Maintenance Bond)												

MONTGOMERY TOWNSHIP BOARD OF SUPERVISORS
BOARD ACTION SUMMARY

SUBJECT: Consider Construction Escrow Release #9 - LDS#630 – Firefox Phase I

MEETING DATE: September 14, 2015

ITEM NUMBER: **#16b.**

MEETING/AGENDA: WORK SESSION ACTION ☒ NONE

REASON FOR CONSIDERATION: Operational: ☒ Information: Discussion: Policy:

INITIATED BY: Bruce Shoupe
Director of Planning and Zoning

BOARD LIAISON: Michael J. Fox
Chairman

BACKGROUND:

Attached is a construction escrow release requested by Brian Grant for Firefox Phase I, as recommended by the Township Engineer. The original amount of the escrow was \$2,618,503.16, held as a Loan with Univest Bank. This is the ninth escrow release for this project. The current release is in the amount of \$25,618.44. The new balance would be \$879,085.46.

ZONING, SUBDIVISION OR LAND DEVELOPMENT IMPACT:

None

PREVIOUS BOARD ACTION:

None

ALTERNATIVES/OPTIONS:

Approve or not approve the construction escrow release.

BUDGET IMPACT:

None.

RECOMMENDATION:

That this construction escrow be released.

MOTION/RESOLUTION:

The Board of Supervisors hereby authorize a construction escrow release in the amount of \$25,618.44, as recommended by the Township Engineer for the Firefox project.

MOTION _____

SECOND _____

ROLL CALL:

Robert J. Birch	Aye	Opposed	Abstain	Absent
Candyce Fluehr Chimera	Aye	Opposed	Abstain	Absent
Jeffrey W. McDonnell	Aye	Opposed	Abstain	Absent
Joseph P. Walsh	Aye	Opposed	Abstain	Absent
Michael J. Fox	Aye	Opposed	Abstain	Absent

DISTRIBUTION: Board of Supervisors, Frank R. Bartle, Esq.

RELEASE OF ESCROW FORM

Russell S. Dunlevy, P.E.
Executive Vice President
Gilmore & Associates, Inc.
65 East Butler Avenue, Suite 100
New Britain, PA 18901
215-345-4330

Date: 09/09/2015

Development: Firefox - Ph. 1 (Southern) - LD/S #630

G&A Project #: 2012-09009

Release #: 9

Dear Mr. Dunlevy:

This is an escrow release request in the amount of \$76,208.81. Enclosed is a copy of our escrow spreadsheet with the quantities noted.

ESCROW RELEASE REQUESTS ARE LIMITED TO ONE PER MONTH.

Mr. Lawrence Gregan
Township Manager
Montgomery Township
1001 Stump Road
Montgomeryville, PA 18936

Date: 09/10/2015

Dear Mr. Gregan:

We have reviewed the developer's request for an escrow release. We therefore, recommend that \$25,618.44 be released. These improvements will be subject to a final observation prior to dedication and again at the end of the maintenance period. Any deficiencies will be required to be corrected by the developer.

 For RSD

Russell S. Dunlevy, P.E., Executive VP, Gilmore & Associates, Inc.

Resolution # _____

WHEREAS, a request for release of escrow was received from Crystal Road Enterprises, LLC for Firefox - Ph. 1 (Southern) - LD/S #630, in the amount of \$76,208.81, on the representation that work set forth in the Land Development Agreement to the extent has been completed and; WHEREAS, said request has been reviewed by the Township Engineer who recommends release of \$25,618.44; NOW, THEREFORE, BE IT RESOLVED by the Board of Supervisors of Montgomery Township that we do hereby authorize release of \$25,618.44; in accordance with the developer's request, and the officers of the Township are authorized to take the necessary action to obtain release of said sum.

BE IT FURTHER RESOLVED that Township records indicate that escrow has been deposited via Loan with Montgomery Township in total sum of \$2,618,503.16 pursuant to a signed Land Development Agreement and that \$1,713,799.26 has previously been released from escrow. Therefore, the action of the Board releasing said sum leaves a new balance of \$879,085.46 in escrow.

MOTION BY _____

VOTE: _____

SECOND BY: _____

DATED: _____

RELEASED BY: _____

Department Director



GILMORE & ASSOCIATES, INC.

ENGINEERING & CONSULTING SERVICES

VIA EMAIL

September 10, 2015

File No. 2012-09009

Mr. Lawrence Gregan, Township Manager
Montgomery Township
1001 Stump Road
Montgomeryville, PA 18936

Reference: Firefox Phase 1 (Southern Village) – LD/S #630
Financial Security Release 9

Dear Larry:

We have received and reviewed the Request for Escrow Release for the above-referenced project. This letter is to certify that the improvements attached to this letter in the amount of \$25,618.44 have been completed. Please find enclosed a copy of our escrow calculations and the application for release of funds for your use.

Please be advised that these improvements will be subject to a final inspection prior to dedication and again at the end of the maintenance period. Any deficiencies will be required to be corrected by the developer.

Should you have any further questions or require any additional information, please do not hesitate to contact our office.

Sincerely,

James P. Dougherty, P.E.
Gilmore & Associates, Inc.
Township Engineers

JPD/

Enclosures: As Referenced

cc: Bruce S. Shoupe, Director of Planning and Zoning
Marita A. Stoerrle, Development Coordinator - Montgomery Township
Kevin Johnson, P.E. - Traffic Planning & Design, Inc.
Judith Stern Goldstein, ASLA, R.L.A. - Boucher & James, Inc.
Brian C. Grant - Select Properties

BUILDING ON A FOUNDATION OF EXCELLENCE

65 E. Butler Avenue | Suite 100 | New Britain, PA 18901
Phone: 215-345-4330 | Fax: 215-345-8606
www.gilmore-assoc.com

ESCROW STATUS REPORT



Gilmore & Associates, Inc.
Engineering and Consulting Services

SUMMARY OF ESCROW ACCOUNT

RELEASE NO.: 9
RELEASE DATE: 10-Sep-2015

PROJECT NAME:	Firefox - Ph. 1 (Southern)	PHASE I	PHASE II	TOTAL
PROJECT NO.:	2012-09009	CONSTRUCTION: \$ 2,380,457.42	\$ 1,573,052.37	\$ 3,953,509.79
TOWNSHIP NO.:	LD/S #630	CONTINGENCY (10%): \$ 238,045.74	\$ 157,305.24	\$ 395,350.98
DEVELOPER:	Crystal Road Enterprises, LLC	ESCROW POSTED: \$ 2,618,503.16	\$ 1,730,357.61	\$ 4,348,860.77
OWNER:	Firefox I, L.P.			
		TOTAL ENG/INSP/LEGAL (CASH ACCOUNT):	\$ 45,000.00	
MUNICIPALITY:	Montgomery Township	TOTAL ADMINISTRATION (CASH ACCOUNT):	\$ 5,000.00	
ESCROW AGENT:	Univest			
TYPE OF SECURITY:	Loan	PHASE I MAINTENANCE BOND AMOUNT (15%):	\$ 357,068.61	
AGREEMENT DATE:	10-Oct-2014	PHASE II MAINTENANCE BOND AMOUNT (15%):	\$ 235,957.86	

PHASE I	PHASE II	TOTAL
TOTAL ESCROW: \$ 2,618,503.16	\$ 1,730,357.61	\$ 4,348,860.77
AMOUNT OF THIS RELEASE: \$ 25,618.44	\$ -	\$ 25,618.44
PRIOR ESCROW RELEASED: \$ 1,713,799.26	\$ -	\$ 1,713,799.26
TOTAL RELEASED TO DATE: \$ 1,739,417.70	\$ -	\$ 1,739,417.70
BALANCE AFTER CURRENT RELEASE: \$ 879,085.46	\$ 1,730,357.61	\$ 2,609,443.07

ESCROW TABULATION					CURRENT RELEASE		RELEASED TO DATE		AVAILABLE FOR RELEASE		RELEASE REQ # 10
CONSTRUCTION ITEMS	UNITS	QUANTITY	UNIT PRICE	TOTAL AMOUNT	QUANTITY	TOTAL AMOUNT	QUANTITY	TOTAL AMOUNT	QUANTITY	TOTAL AMOUNT	QUANTITY
PHASE I (SOUTHERN VILLAGE)											
1.A. <u>MOBILIZATION</u>	LS	1	\$ 73,227.00	\$ 73,227.00		\$ -	1.00	\$ 73,227.00		\$ -	
1.B. <u>EARTHWORK</u>											
1. Clearing & Grubbing	LS	1	\$ 52,482.00	\$ 52,482.00		\$ -	1.00	\$ 52,482.00		\$ -	
2. Strip Topsoil	CY	11,338	\$ 2.47	\$ 28,004.86		\$ -	11,338.00	\$ 28,004.86		\$ -	
3. Cut Fill & Compact	CY	16,335	\$ 2.50	\$ 40,837.50		\$ -	16,335.00	\$ 40,837.50		\$ -	
4. Grade	SY	35,597	\$ 0.28	\$ 9,967.16	9,255.00	\$ 2,591.40	32,037.00	\$ 8,970.36	3,560.00	\$ 996.80	
1.C. <u>RETAINING WALL</u>											
1. Excavate Retaining Wall	LF	321	\$ 6.40	\$ 2,054.40		\$ -	321.00	\$ 2,054.40		\$ -	
2. Retaining Wall	SF	1,250	\$ 40.00	\$ 50,000.00		\$ -	1,250.00	\$ 50,000.00		\$ -	
3. Sleeves for Guide Rail behind Wall #1	LS	1	\$ 1,785.00	\$ 1,785.00		\$ -	1.00	\$ 1,785.00		\$ -	
1.D. <u>EROSION CONTROL</u>											
<i>Erosion & Sediment Controls</i>											
1. Construction Entrance	EA	1	\$ 3,392.00	\$ 3,392.00		\$ -	1.00	\$ 3,392.00		\$ -	
2. 12" Weighted Sediment Tube	LF	31	\$ 10.35	\$ 320.85		\$ -	31.00	\$ 320.85		\$ -	
3. 12" Filtrex Sock	LF	138	\$ 3.81	\$ 525.78		\$ -	138.00	\$ 525.78		\$ -	
4. 18" Silt Fence - Stockpiles	LF	350	\$ 1.56	\$ 546.00		\$ -	350.00	\$ 546.00		\$ -	
5. 30" Silt Fence	LF	646	\$ 1.91	\$ 1,233.86		\$ -	646.00	\$ 1,233.86		\$ -	
6. Super Silt Fence	LF	687	\$ 6.45	\$ 4,431.15		\$ -	687.00	\$ 4,431.15		\$ -	
7. Super Silt Fence w/ Tree Protection Fence	LF	3,000	\$ 6.45	\$ 19,350.00		\$ -	2,696.00	\$ 17,389.20	304.00	\$ 1,960.80	
8. Orange Construction Fence	LF	1,520	\$ 1.54	\$ 2,340.80		\$ -	1,520.00	\$ 2,340.80		\$ -	
9. Tree Protection Fence	LF	3,753	\$ 1.54	\$ 5,779.62		\$ -	3,502.00	\$ 5,393.08	251.00	\$ 386.54	
10. Temporary Vegetation - Excess Fill Piles	SY	19,360	\$ 0.29	\$ 5,614.40		\$ -	19,360.00	\$ 5,614.40		\$ -	
11. Slope Matting (North American Green S-75)	SY	3,059	\$ 1.50	\$ 4,588.50	3,059.00	\$ 4,588.50	3,059.00	\$ 4,588.50		\$ -	
12. Grade Swales #A,A1.5,B12.2,B6,B13)	SY	2,471	\$ 0.55	\$ 1,359.05		\$ -	2,471.00	\$ 1,359.05		\$ -	
13. Swale Matting (North American Green S-75)	SY	2,471	\$ 1.50	\$ 3,706.50	2,471.00	\$ 3,706.50	2,471.00	\$ 3,706.50		\$ -	
14. Rock Filters	EA	6	\$ 132.00	\$ 792.00	6.00	\$ 792.00	6.00	\$ 792.00		\$ -	
15. Inlet Protection Silt Sack	EA	29	\$ 134.00	\$ 3,886.00		\$ -	29.00	\$ 3,886.00		\$ -	
16. Pumped Water Filter Bag, Pump, Clean Water Pump Bypass, Sandbag Cofferdam	LS	1	\$ 12,000.00	\$ 12,000.00		\$ -	1.00	\$ 12,000.00		\$ -	

ESCROW STATUS REPORT



Gilmore & Associates, Inc.
Engineering and Consulting Services

SUMMARY OF ESCROW ACCOUNT

RELEASE NO.: 9
RELEASE DATE: 10-Sep-2015

PROJECT NAME:	Firefox - Ph. 1 (Southern)	PHASE I	PHASE II	TOTAL
PROJECT NO.:	2012-09009	CONSTRUCTION: \$ 2,380,457.42	\$ 1,573,052.37	\$ 3,953,509.79
TOWNSHIP NO.:	LD/S #630	CONTINGENCY (10%): \$ 238,045.74	\$ 157,305.24	\$ 395,350.98
DEVELOPER:	Crystal Road Enterprises, LLC	ESCROW POSTED: \$ 2,618,503.16	\$ 1,730,357.61	\$ 4,348,860.77
OWNER:	Firefox I, L.P.			
		TOTAL ENG/INSP/LEGAL (CASH ACCOUNT):	\$ 45,000.00	
MUNICIPALITY:	Montgomery Township	TOTAL ADMINISTRATION (CASH ACCOUNT):	\$ 5,000.00	
ESCROW AGENT:	Uninvest			
TYPE OF SECURITY:	Loan	PHASE I MAINTENANCE BOND AMOUNT (15%):	\$ 357,068.61	
AGREEMENT DATE:	10-Oct-2014	PHASE II MAINTENANCE BOND AMOUNT (15%):	\$ 235,957.86	

PHASE I	PHASE II	TOTAL
TOTAL ESCROW: \$ 2,618,503.16	\$ 1,730,357.61	\$ 4,348,860.77
AMOUNT OF THIS RELEASE: \$ 25,618.44	\$ -	\$ 25,618.44
PRIOR ESCROW RELEASED: \$ 1,713,799.26	\$ -	\$ 1,713,799.26
TOTAL RELEASED TO DATE: \$ 1,739,417.70	\$ -	\$ 1,739,417.70
BALANCE AFTER CURRENT RELEASE: \$ 879,085.46	\$ 1,730,357.61	\$ 2,609,443.07

ESCROW TABULATION					CURRENT RELEASE		RELEASED TO DATE		AVAILABLE FOR RELEASE		RELEASE REQ # 10
CONSTRUCTION ITEMS	UNITS	QUANTITY	UNIT PRICE	TOTAL AMOUNT	QUANTITY	TOTAL AMOUNT	QUANTITY	TOTAL AMOUNT	QUANTITY	TOTAL AMOUNT	QUANTITY
Sediment Basin B											
20. Strip Topsoil	CY	1,058	\$ 2.47	\$ 2,613.26		\$ -	1,058.00	\$ 2,613.26		\$ -	
21. Cut Fill & Compact	CY	3,683	\$ 2.50	\$ 9,207.50		\$ -	3,683.00	\$ 9,207.50		\$ -	
22. Grade	CY	4,737	\$ 0.28	\$ 1,326.36		\$ -	4,737.00	\$ 1,326.36		\$ -	
23. Core Cut & Fill Keyway	LF	275	\$ 10.08	\$ 2,772.00		\$ -	275.00	\$ 2,772.00		\$ -	
24. Respread Topsoil	CY	1,058	\$ 2.97	\$ 3,142.26		\$ -	1,058.00	\$ 3,142.26		\$ -	
25. Grade Spillway	SY	132	\$ 0.48	\$ 63.36		\$ -	132.00	\$ 63.36		\$ -	
26. Spillway Matting (North American Green P-300)	SY	132	\$ 5.66	\$ 747.12		\$ -	132.00	\$ 747.12		\$ -	
27. Permanent Rake & Vegetation	SF	42,675	\$ 0.29	\$ 12,375.75		\$ -	42,675.00	\$ 12,375.75		\$ -	
28. Super Silt Fence Baffle Wall, 3.05' hgt.	LF	255	\$ 6.45	\$ 1,644.75		\$ -	255.00	\$ 1,644.75		\$ -	
29. 24" x 38" Elliptical RCP (Dual Runs)	LF	88	\$ 143.00	\$ 12,584.00		\$ -	88.00	\$ 12,584.00		\$ -	
30. Outlet Structure (#B3.3) w/Wingwalls and Trash Rack	EA	1	\$ 10,505.00	\$ 10,505.00		\$ -	1.00	\$ 10,505.00		\$ -	
31. 30" x 120" Modified Type C Inlets (#B02, B03)	EA	2	\$ 5,087.00	\$ 10,174.00		\$ -	2.00	\$ 10,174.00		\$ -	
32. Antiseep Collars	EA	2	\$ 1,809.00	\$ 3,618.00		\$ -	2.00	\$ 3,618.00		\$ -	
33. 24" x 38" Elliptical Endwall (#B1) w/Concrete Apron	EA	1	\$ 11,715.00	\$ 11,715.00		\$ -	1.00	\$ 11,715.00		\$ -	
34. 36" CMP Temporary Riser	EA	1	\$ 1,900.00	\$ 1,900.00		\$ -	1.00	\$ 1,900.00		\$ -	
35. R-5 Rip Rap Dissipator	TON	80	\$ 54.00	\$ 4,320.00		\$ -	80.00	\$ 4,320.00		\$ -	
1.E. STORM SEWER											
1. 18" RCP	LF	762	\$ 35.00	\$ 26,670.00		\$ -	762.00	\$ 26,670.00		\$ -	
2. 24" RCP	LF	410	\$ 45.00	\$ 18,450.00		\$ -	410.00	\$ 18,450.00		\$ -	
3. 36" RCP	LF	112	\$ 80.00	\$ 8,960.00		\$ -			112.00	\$ 8,960.00	
4. 34" x 53" Elliptical RCP	LF	73	\$ 162.00	\$ 11,826.00		\$ -	73.00	\$ 11,826.00		\$ -	
5. Typc C Inlet (#A01.3, A01.4, A03, A04, A05, A06, B02.1,	EA	26	\$ 2,700.00	\$ 70,200.00		\$ -	26.00	\$ 70,200.00		\$ -	
6. Type C Inlet Mod, 42"x48", (#B03.4, B04)	EA	2	\$ 3,400.00	\$ 6,800.00		\$ -	2.00	\$ 6,800.00		\$ -	
7. Type C Inlet Mod 8' x 8' (Outlet Structure #A02)	EA	1	\$ 12,608.00	\$ 12,608.00		\$ -	1.00	\$ 12,608.00		\$ -	
8. 18" DW Endwalls (#A01.2, A01.5)	EA	2	\$ 1,200.00	\$ 2,400.00		\$ -	2.00	\$ 2,400.00		\$ -	
9. 36" DW Endwalls (#B10)	EA	1	\$ 1,850.00	\$ 1,850.00		\$ -	1.00	\$ 1,850.00		\$ -	
10. R-5 Rip Rap Dissipator	TON	191	\$ 54.00	\$ 10,314.00		\$ -	191.00	\$ 10,314.00		\$ -	

ESCROW STATUS REPORT



Gilmore & Associates, Inc.
Engineering and Consulting Services

SUMMARY OF ESCROW ACCOUNT

RELEASE NO.: 9
RELEASE DATE: 10-Sep-2015

PROJECT NAME: Firefox - Ph. 1 (Southern)
PROJECT NO.: 2012-09009
TOWNSHIP NO.: LD/S #630
DEVELOPER: Crystal Road Enterprises, LLC
OWNER: Firefox I, L.P.

	PHASE I	PHASE II	TOTAL
CONSTRUCTION:	\$ 2,380,457.42	\$ 1,573,052.37	\$ 3,953,509.79
CONTINGENCY (10%):	\$ 238,045.74	\$ 157,305.24	\$ 395,350.98
ESCROW POSTED:	\$ 2,618,503.16	\$ 1,730,357.61	\$ 4,348,860.77

TOTAL ENG/INSP/LEGAL (CASH ACCOUNT): \$ 45,000.00
TOTAL ADMINISTRATION (CASH ACCOUNT): \$ 5,000.00
PHASE I MAINTENANCE BOND AMOUNT (15%): \$ 357,068.61
PHASE II MAINTENANCE BOND AMOUNT (15%): \$ 235,957.86

MUNICIPALITY: Montgomery Township
ESCROW AGENT: Univest
TYPE OF SECURITY: Loan
AGREEMENT DATE: 10-Oct-2014

	PHASE I	PHASE II	TOTAL
TOTAL ESCROW:	\$ 2,618,503.16	\$ 1,730,357.61	\$ 4,348,860.77
AMOUNT OF THIS RELEASE:	\$ 25,618.44	\$ -	\$ 25,618.44
PRIOR ESCROW RELEASED:	\$ 1,713,799.26	\$ -	\$ 1,713,799.26
TOTAL RELEASED TO DATE:	\$ 1,739,417.70	\$ -	\$ 1,739,417.70
BALANCE AFTER CURRENT RELEASE:	\$ 879,085.46	\$ 1,730,357.61	\$ 2,609,443.07

ESCROW TABULATION					CURRENT RELEASE		RELEASED TO DATE		AVAILABLE FOR RELEASE		RELEASE REQ # 10
					QUANTITY	TOTAL AMOUNT	QUANTITY	TOTAL AMOUNT	QUANTITY	TOTAL AMOUNT	QUANTITY
CONSTRUCTION ITEMS					UNITS	QUANTITY	UNIT PRICE	TOTAL AMOUNT			
1.F. DETENTION FACILITIES #A, B1, B2											
1. Facility A, Systems #1 and 2, w/ Structure #A7, w/ #57 Stone to Springline of Pipe and On-site Backfill (No Fabric)	LS	1	\$ 48,161.00	\$ 48,161.00		\$ -	1.00	\$ 48,161.00		\$ -	
2. Facility B1, Systems #1,2 and 3, w/ Structures #B5, B6, and B7, w/ #57 Stone to Springline of Pipe and On-Site Backfill (No Fabric)	LS	1	\$ 117,195.00	\$ 117,195.00		\$ -	0.70	\$ 82,036.50	0.30	\$ 35,158.50	
3. Facility B2, Systems #1 through 8, w/ Structures #B10.1, B11, B12, B12.1, B12.2, B14, B15, and B16, w/ #57 Stone to Springline of Pipe and On-Site Backfill (No Fabric)	LS	1	\$ 313,500.00	\$ 313,500.00		\$ -	1.00	\$ 313,500.00		\$ -	
1.G. ROADWAY (Interior)											
1. Excavate & Backfill Curb	LF	6,117	\$ 3.19	\$ 19,513.23		\$ -	6,117.00	\$ 19,513.23		\$ -	
2. Belgian Block Curb	LF	6,117	\$ 14.00	\$ 85,638.00		\$ -	6,117.00	\$ 85,638.00		\$ -	
3. Fine Grade and Compact Subgrade	SY	9,489	\$ 1.12	\$ 10,627.68		\$ -	9,489.00	\$ 10,627.68		\$ -	
4. 3" 2a Modified	SY	9,489	\$ 3.01	\$ 28,561.89		\$ -	9,489.00	\$ 28,561.89		\$ -	
5. 5" (25MM) Base Course	SY	9,489	\$ 19.00	\$ 180,291.00		\$ -	9,489.00	\$ 180,291.00		\$ -	
6. 1.5" (9.5MM) Wearing Paving	SY	9,489	\$ 7.12	\$ 67,561.68		\$ -		\$ -	9,489.00	\$ 67,561.68	
7. Speed Bump	LS	1	\$ 1,200.00	\$ 1,200.00		\$ -		\$ -	1.00	\$ 1,200.00	
8. Street Sweeping	SY	9,489	\$ 0.12	\$ 1,138.68		\$ -		\$ -	9,489.00	\$ 1,138.68	
9. Tack Coat	SY	9,489	\$ 0.19	\$ 1,802.91		\$ -		\$ -	9,489.00	\$ 1,802.91	
10. Curb & Joint Seal	LF	6,117	\$ 0.63	\$ 3,853.71		\$ -		\$ -	6,117.00	\$ 3,853.71	
11. Line Painting	LS	1	\$ 1,750.00	\$ 1,750.00		\$ -		\$ -	1.00	\$ 1,750.00	
12. Site Signage	LS	1	\$ 2,307.00	\$ 2,307.00		\$ -		\$ -	1.00	\$ 2,307.00	
13. Type 2S Guide Rail (Includes 3 Terminal Sections)	LF	760	\$ 20.71	\$ 15,739.60		\$ -		\$ -	760.00	\$ 15,739.60	

ESCROW STATUS REPORT



Gilmore & Associates, Inc.
Engineering and Consulting Services

SUMMARY OF ESCROW ACCOUNT

RELEASE NO.: 9
RELEASE DATE: 10-Sep-2015

PROJECT NAME:	Firefox - Ph. 1 (Southern)	PHASE I	PHASE II	TOTAL
PROJECT NO.:	2012-09009	CONSTRUCTION: \$ 2,380,457.42	\$ 1,573,052.37	\$ 3,953,509.79
TOWNSHIP NO.:	LD/S #630	CONTINGENCY (10%): \$ 238,045.74	\$ 157,305.24	\$ 395,350.98
DEVELOPER:	Crystal Road Enterprises, LLC	ESCROW POSTED: \$ 2,618,503.16	\$ 1,730,357.61	\$ 4,348,860.77
OWNER:	Firefox I, L.P.			
		TOTAL ENG/INSP/LEGAL (CASH ACCOUNT):	\$ 45,000.00	
MUNICIPALITY:	Montgomery Township	TOTAL ADMINISTRATION (CASH ACCOUNT):	\$ 5,000.00	
ESCROW AGENT:	Univest			
TYPE OF SECURITY:	Loan	PHASE I MAINTENANCE BOND AMOUNT (15%):	\$ 357,068.61	
AGREEMENT DATE:	10-Oct-2014	PHASE II MAINTENANCE BOND AMOUNT (15%):	\$ 235,957.86	

PHASE I	PHASE II	TOTAL
TOTAL ESCROW: \$ 2,618,503.16	\$ 1,730,357.61	\$ 4,348,860.77
AMOUNT OF THIS RELEASE: \$ 25,618.44	\$ -	\$ 25,618.44
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TOTAL RELEASED TO DATE: \$ 1,739,417.70	\$ -	\$ 1,739,417.70
BALANCE AFTER CURRENT RELEASE: \$ 879,085.46	\$ 1,730,357.61	\$ 2,609,443.07

ESCROW TABULATION					CURRENT RELEASE		RELEASED TO DATE		AVAILABLE FOR RELEASE		RELEASE REQ # 10
CONSTRUCTION ITEMS	UNITS	QUANTITY	UNIT PRICE	TOTAL AMOUNT	QUANTITY	TOTAL AMOUNT	QUANTITY	TOTAL AMOUNT	QUANTITY	TOTAL AMOUNT	QUANTITY
1.H. ROADWAY (Bethlehem Pike)											
1. Excavate & Backfill, Concrete Curb	LF	360	\$ 5.29	\$ 1,904.40		\$ -	360.00	\$ 1,904.40		\$ -	
2. 18" Concrete Curb	LF	360	\$ 13.35	\$ 4,806.00		\$ -	360.00	\$ 4,806.00		\$ -	
3. Saw Cut	LF	450	\$ 3.17	\$ 1,426.50		\$ -	450.00	\$ 1,426.50		\$ -	
4. Excavate for Widening	SY	500	\$ 8.44	\$ 4,220.00		\$ -	500.00	\$ 4,220.00		\$ -	
5. 6" Pavement Base Drain	LF	261	\$ 18.93	\$ 4,940.73		\$ -	261.00	\$ 4,940.73		\$ -	
6. 18" RCP	LF	65	\$ 55.38	\$ 3,599.70		\$ -	65.00	\$ 3,599.70		\$ -	
7. Tie-In to Existing Inlets	EA	2	\$ 1,725.00	\$ 3,450.00		\$ -	2.00	\$ 3,450.00		\$ -	
8. Type C Inlets (#B1, B2)	EA	2	\$ 3,187.00	\$ 6,374.00		\$ -	2.00	\$ 6,374.00		\$ -	
9. Fine Grade and Compact Subgrade	SY	520	\$ 1.12	\$ 582.40		\$ -	520.00	\$ 582.40		\$ -	
10. 8" 2a Modified	SY	500	\$ 11.93	\$ 5,965.00		\$ -	500.00	\$ 5,965.00		\$ -	
11. 8" (25MM) Base Course	SY	500	\$ 35.38	\$ 17,690.00		\$ -	500.00	\$ 17,690.00		\$ -	
12. 2.5" (19MM) Base Course	SY	500	\$ 14.58	\$ 7,290.00		\$ -	500.00	\$ 7,290.00		\$ -	
13. 1.5" (12MM) Wearing Paving	SY	1,133	\$ 9.59	\$ 10,865.47		\$ -	1,133.00	\$ 10,865.47		\$ -	
14. Street Sweeping	SY	1,133	\$ 0.16	\$ 181.28		\$ -	1,133.00	\$ 181.28		\$ -	
15. Curb & Joint Seal	LF	1,200	\$ 0.63	\$ 756.00		\$ -	1,200.00	\$ 756.00		\$ -	
16. Tack Coat	SY	1,133	\$ 0.19	\$ 215.27		\$ -	1,133.00	\$ 215.27		\$ -	
17. Milling for Overlay	LS	1	\$ 7,645.00	\$ 7,645.00		\$ -	1.00	\$ 7,645.00		\$ -	
18. Line Painting	LS	1	\$ 6,540.00	\$ 6,540.00		\$ -	1.00	\$ 6,540.00		\$ -	
19. Signalization	LS	1	\$ 215,889.00	\$ 215,889.00		\$ -	1.00	\$ 215,889.00		\$ -	
20. Type 2S Guide Rail, Remove & Replace	LS	1	\$ 8,350.00	\$ 8,350.00		\$ -	1.00	\$ 8,350.00		\$ -	
21. Figure 24 Signage	LS	1	\$ 2,725.00	\$ 2,725.00		\$ -	1.00	\$ 2,725.00		\$ -	
22. Traffic Control	DY	8	\$ 900.00	\$ 7,200.00		\$ -	8.00	\$ 7,200.00		\$ -	
23. Excavate & Backfill, Place 4" 2A Mod. Stone for Sidewalk	SF	1,400	\$ 1.56	\$ 2,184.00		\$ -	1,400.00	\$ 2,184.00		\$ -	
24. Sidewalk (4")	SF	1,400	\$ 8.00	\$ 11,200.00		\$ -	1,400.00	\$ 11,200.00		\$ -	
25. Handicap Ramps (incl. DWS)	EA	4	\$ 500.00	\$ 2,000.00		\$ -	4.00	\$ 2,000.00		\$ -	
1.I. ONSITE SIDEWALKS											
1. Sidewalk (4")	SF	8,700	\$ 8.00	\$ 69,600.00		\$ -		\$ -	8,700.00	\$ 69,600.00	
2. Driveway Apron (6" w/ wire mesh)	EA	57	\$ 1,100.00	\$ 62,700.00		\$ -		\$ -	57.00	\$ 62,700.00	
3. Handicap Ramps (incl. DWS)	EA	12	\$ 500.00	\$ 6,000.00		\$ -		\$ -	12.00	\$ 6,000.00	
1.J. BIOSWALE CONVERSION											
1. Convert bioswales A1.5 and B12.2 to permanent infiltration	LS	1	\$ 23,202.00	\$ 23,202.00	0.50	\$ 11,601.00	0.50	\$ 11,601.00	0.50	\$ 11,601.00	

ESCROW STATUS REPORT



Gilmore & Associates, Inc.
Engineering and Consulting Services

SUMMARY OF ESCROW ACCOUNT

RELEASE NO.: 9
RELEASE DATE: 10-Sep-2015

PROJECT NAME: Firefox - Ph. 1 (Southern)
PROJECT NO.: 2012-09009
TOWNSHIP NO.: LD/S #630
DEVELOPER: Crystal Road Enterprises, LLC
OWNER: Firefox I, L.P.

MUNICIPALITY: Montgomery Township
ESCROW AGENT: Univest
TYPE OF SECURITY: Loan
AGREEMENT DATE: 10-Oct-2014

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ESCROW TABULATION					CURRENT RELEASE		RELEASED TO DATE		AVAILABLE FOR RELEASE		RELEASE REQ # 10
CONSTRUCTION ITEMS	UNITS	QUANTITY	UNIT PRICE	TOTAL AMOUNT	QUANTITY	TOTAL AMOUNT	QUANTITY	TOTAL AMOUNT	QUANTITY	TOTAL AMOUNT	QUANTITY
1.K. SEDIMENT BASIN B CONVERSION											
1. Earthwork	LS	1	\$ 43,918.00	\$ 43,918.00		\$ -		\$ -	1.00	\$ 43,918.00	
2. Post and rail fencing	LF	462	\$ 15.00	\$ 6,930.00		\$ -		\$ -	462.00	\$ 6,930.00	
1.L. STREET LIGHTS											
1. Street Lights	EA	16	\$ 2,700.00	\$ 43,200.00		\$ -		\$ -	16.00	\$ 43,200.00	
1.M. LANDSCAPING											
<i>Shade Trees</i>											
1. Acer rubrum	EA	31	\$ 350.00	\$ 10,850.00		\$ -		\$ -	31.00	\$ 10,850.00	
2. Acer saccharum	EA	19	\$ 350.00	\$ 6,650.00		\$ -		\$ -	19.00	\$ 6,650.00	
3. Cercidiphyllum Japonica	EA	16	\$ 380.00	\$ 6,080.00		\$ -		\$ -	16.00	\$ 6,080.00	
4. Gleditsia T. Shademaster	EA	27	\$ 350.00	\$ 9,450.00		\$ -		\$ -	27.00	\$ 9,450.00	
5. Liquidambar styraciflua	EA	23	\$ 350.00	\$ 8,050.00		\$ -		\$ -	23.00	\$ 8,050.00	
6. Liriodendron tulipifera	EA	21	\$ 350.00	\$ 7,350.00		\$ -		\$ -	21.00	\$ 7,350.00	
7. Platanus x acerifolia	EA	13	\$ 350.00	\$ 4,550.00		\$ -		\$ -	13.00	\$ 4,550.00	
8. Pyrus C. Chanticleer	EA	16	\$ 350.00	\$ 5,600.00		\$ -		\$ -	16.00	\$ 5,600.00	
9. Quercus borealis	EA	13	\$ 360.00	\$ 4,680.00		\$ -		\$ -	13.00	\$ 4,680.00	
10. Quercus palustris	EA	9	\$ 350.00	\$ 3,150.00		\$ -		\$ -	9.00	\$ 3,150.00	
11. Quercus phellos	EA	22	\$ 360.00	\$ 7,920.00		\$ -		\$ -	22.00	\$ 7,920.00	
12. Tilia cordata	EA	18	\$ 350.00	\$ 6,300.00		\$ -		\$ -	18.00	\$ 6,300.00	
13. Zelkova serrata	EA	26	\$ 350.00	\$ 9,100.00		\$ -		\$ -	26.00	\$ 9,100.00	
<i>Evergreen Trees</i>											
17. Juniperus virginiana	EA	26	\$ 250.00	\$ 6,500.00		\$ -		\$ -	26.00	\$ 6,500.00	
16. Picea abies	EA	34	\$ 250.00	\$ 8,500.00		\$ -		\$ -	34.00	\$ 8,500.00	
14. Pinus strobus	EA	43	\$ 250.00	\$ 10,750.00		\$ -		\$ -	43.00	\$ 10,750.00	
15. Pseudotsuga menziesii	EA	29	\$ 250.00	\$ 7,250.00		\$ -		\$ -	29.00	\$ 7,250.00	

ESCROW STATUS REPORT



Gilmore & Associates, Inc.
Engineering and Consulting Services

SUMMARY OF ESCROW ACCOUNT

RELEASE NO.: 9
RELEASE DATE: 10-Sep-2015

PROJECT NAME: Firefox - Ph. 1 (Southern)
PROJECT NO.: 2012-09009
TOWNSHIP NO.: LD/S #630
DEVELOPER: Crystal Road Enterprises, LLC
OWNER: Firefox I, L.P.

	PHASE I	PHASE II	TOTAL
CONSTRUCTION:	\$ 2,380,457.42	\$ 1,573,052.37	\$ 3,953,509.79
CONTINGENCY (10%):	\$ 238,045.74	\$ 157,305.24	\$ 395,350.98
ESCROW POSTED:	\$ 2,618,503.16	\$ 1,730,357.61	\$ 4,348,860.77

	PHASE I	PHASE II	TOTAL
TOTAL ESCROW:	\$ 2,618,503.16	\$ 1,730,357.61	\$ 4,348,860.77
AMOUNT OF THIS RELEASE:	\$ 25,618.44	\$ -	\$ 25,618.44
PRIOR ESCROW RELEASED:	\$ 1,713,799.26	\$ -	\$ 1,713,799.26
TOTAL RELEASED TO DATE:	\$ 1,739,417.70	\$ -	\$ 1,739,417.70
BALANCE AFTER CURRENT RELEASE:	\$ 879,085.46	\$ 1,730,357.61	\$ 2,609,443.07

MUNICIPALITY: Montgomery Township
ESCROW AGENT: Uninvest
TYPE OF SECURITY: Loan
AGREEMENT DATE: 10-Oct-2014

TOTAL ENG/INSP/LEGAL (CASH ACCOUNT): \$ 45,000.00
TOTAL ADMINISTRATION (CASH ACCOUNT): \$ 5,000.00
PHASE I MAINTENANCE BOND AMOUNT (15%): \$ 357,068.61
PHASE II MAINTENANCE BOND AMOUNT (15%): \$ 235,957.86

ESCROW TABULATION					CURRENT RELEASE		RELEASED TO DATE		AVAILABLE FOR RELEASE		RELEASE REQ # 10
CONSTRUCTION ITEMS	UNITS	QUANTITY	UNIT PRICE	TOTAL AMOUNT	QUANTITY	TOTAL AMOUNT	QUANTITY	TOTAL AMOUNT	QUANTITY	TOTAL AMOUNT	QUANTITY
Shrubs											
18. <i>Euonymus A. Compacta</i>	EA	10	\$ 65.00	\$ 650.00		\$ -		\$ -	10.00	\$ 650.00	
19. <i>Forsythia Lynwood Gold</i>	EA	10	\$ 65.00	\$ 650.00		\$ -		\$ -	10.00	\$ 650.00	
20. <i>Ilex verticillata</i>	EA	17	\$ 65.00	\$ 1,105.00		\$ -		\$ -	17.00	\$ 1,105.00	
22. <i>Taxus Densiformis</i>	EA	11	\$ 65.00	\$ 715.00		\$ -		\$ -	11.00	\$ 715.00	
21. <i>Virburnum Plicatum</i>	EA	9	\$ 65.00	\$ 585.00		\$ -		\$ -	9.00	\$ 585.00	
Miscellaneous											
23. Seed Mix "A" for Basin (ERNMX 126)	SF	14,190	\$ 0.12	\$ 1,702.80		\$ -		\$ -	14,190.00	\$ 1,702.80	
24. Seed Mix "B" for Basin (ERNMX 127)	SF	12,960	\$ 0.12	\$ 1,555.20		\$ -		\$ -	12,960.00	\$ 1,555.20	
1.N. BITUMINOUS PATHWAYS	SY	1,645	\$ 35.00	\$ 57,575.00		\$ -		\$ -	1,645.00	\$ 57,575.00	
1.O. 6-FT-HIGH OPAQUE (BUFFER) FENCING	LS	1	\$ 10,000.00	\$ 10,000.00		\$ -		\$ -	1.00	\$ 10,000.00	
1.P. RESPREAD TOPSOIL (8")	LS	1	\$ 30,000.00	\$ 30,000.00		\$ -		\$ -	1.00	\$ 30,000.00	
1.Q. MONOSLAB PAVERS (access to sanitary easement)	SF	1,310	\$ 8.65	\$ 11,331.50		\$ -		\$ -	1,310.00	\$ 11,331.50	
1.R. OTHER											
1. Construction Stakeout	LS	1	\$ 46,781.00	\$ 46,781.00	0.05	\$ 2,339.05	1.00	\$ 46,781.00		\$ -	
2. Pins and Monuments and As-Builts	LS	1	\$ 15,675.00	\$ 15,675.00		\$ -		\$ -	1.00	\$ 15,675.00	
1.S. 10% CONTINGENCY (Phase I) (Released upon certification of final completion and receipt of Maintenance Bond)		1	\$ 238,045.74	\$ 238,045.74		\$ -		\$ -	1.00	\$ 238,045.74	

ESCROW STATUS REPORT



Gilmore & Associates, Inc.
Engineering and Consulting Services

SUMMARY OF ESCROW ACCOUNT

RELEASE NO.: 9
RELEASE DATE: 10-Sep-2015

PROJECT NAME:	Firefox - Ph. 1 (Southern)	PHASE I	PHASE II	TOTAL
PROJECT NO.:	2012-09009	CONSTRUCTION: \$ 2,380,457.42	\$ 1,573,052.37	\$ 3,953,509.79
TOWNSHIP NO.:	LD/S #630	CONTINGENCY (10%): \$ 238,045.74	\$ 157,305.24	\$ 395,350.98
DEVELOPER:	Crystal Road Enterprises, LLC	ESCROW POSTED: \$ 2,618,503.16	\$ 1,730,357.61	\$ 4,348,860.77
OWNER:	Firefox I, L.P.			
		TOTAL ENG/INSP/LEGAL (CASH ACCOUNT):	\$	45,000.00
MUNICIPALITY:	Montgomery Township	TOTAL ADMINISTRATION (CASH ACCOUNT):	\$	5,000.00
ESCROW AGENT:	Univest			
TYPE OF SECURITY:	Loan	PHASE I MAINTENANCE BOND AMOUNT (15%):	\$	357,068.61
AGREEMENT DATE:	10-Oct-2014	PHASE II MAINTENANCE BOND AMOUNT (15%):	\$	235,957.86

PHASE I	PHASE II	TOTAL
TOTAL ESCROW: \$ 2,618,503.16	\$ 1,730,357.61	\$ 4,348,860.77
AMOUNT OF THIS RELEASE: \$ 25,618.44	\$ -	\$ 25,618.44
PRIOR ESCROW RELEASED: \$ 1,713,799.26	\$ -	\$ 1,713,799.26
TOTAL RELEASED TO DATE: \$ 1,739,417.70	\$ -	\$ 1,739,417.70
BALANCE AFTER CURRENT RELEASE: \$ 879,085.46	\$ 1,730,357.61	\$ 2,609,443.07

ESCROW TABULATION					CURRENT RELEASE		RELEASED TO DATE		AVAILABLE FOR RELEASE		RELEASE REQ # 10
CONSTRUCTION ITEMS	UNITS	QUANTITY	UNIT PRICE	TOTAL AMOUNT	QUANTITY	TOTAL AMOUNT	QUANTITY	TOTAL AMOUNT	QUANTITY	TOTAL AMOUNT	QUANTITY
PHASE II (NORTHERN VILLAGE)											
2.A. <u>MOBILIZATION</u>	LS	1	\$ 46,672.15	\$ 46,672.15		\$ -		\$ -	1.00	\$ 46,672.15	
2.B. <u>EARTHWORK</u>											
1. Clearing & Grubbing	LS	1	\$ 49,706.00	\$ 49,706.00		\$ -		\$ -	1.00	\$ 49,706.00	
2. Strip Topsoil	CY	8,228	\$ 2.47	\$ 20,323.16		\$ -		\$ -	8,228.00	\$ 20,323.16	
3. Cut Fill & Compact	CY	12,998	\$ 2.50	\$ 32,495.00		\$ -		\$ -	12,998.00	\$ 32,495.00	
4. Grade	SY	26,957	\$ 0.28	\$ 7,547.96		\$ -		\$ -	26,957.00	\$ 7,547.96	
5. Cut from Stockpile from Phase I	CY	7,648	\$ 2.50	\$ 19,120.00		\$ -		\$ -	7,648.00	\$ 19,120.00	
2.C. <u>RETAINING WALL</u>											
1. Excavate Retaining Wall	LF	565	\$ 6.40	\$ 3,616.00		\$ -		\$ -	565.00	\$ 3,616.00	
2. Retaining Wall	SF	3,600	\$ 40.00	\$ 144,000.00		\$ -		\$ -	3,600.00	\$ 144,000.00	
3. Sleeves for Guide Rail behind Wall #3	LS	1	\$ 5,300.00	\$ 5,300.00		\$ -		\$ -	1.00	\$ 5,300.00	
2.D. <u>EROSION CONTROL</u>											
<i>Erosion & Sediment Controls</i>											
1. Construction Entrance	EA	1	\$ 3,392.00	\$ 3,392.00		\$ -		\$ -	1.00	\$ 3,392.00	
2. 20" Weighted Sediment Tube	LF	112	\$ 23.98	\$ 2,685.76		\$ -		\$ -	112.00	\$ 2,685.76	
3. 18" Silt Fence - Stockpiles	LF	1,062	\$ 1.56	\$ 1,656.72		\$ -		\$ -	1,062.00	\$ 1,656.72	
4. 30" Silt Fence	LF	369	\$ 1.91	\$ 704.79		\$ -		\$ -	369.00	\$ 704.79	
5. Super Silt Fence	LF	1,022	\$ 6.45	\$ 6,591.90		\$ -		\$ -	1,022.00	\$ 6,591.90	
6. Super Silt Fence w/ Tree Protection Fence	LF	1,423	\$ 6.45	\$ 9,178.35		\$ -		\$ -	1,423.00	\$ 9,178.35	
7. Orange Construction Fence	LF	1,754	\$ 1.54	\$ 2,701.16		\$ -		\$ -	1,754.00	\$ 2,701.16	
8. Tree Protection Fence-Shown on Grading Plan	LF	1,892	\$ 1.54	\$ 2,913.68		\$ -		\$ -	1,892.00	\$ 2,913.68	
9. Temporary Seeding - Excess Fill Piles	SY	19,360	\$ 0.29	\$ 5,614.40		\$ -		\$ -	19,360.00	\$ 5,614.40	
10. Slope Matting (North American Green S-75)	SY	4,235	\$ 1.50	\$ 6,352.50		\$ -		\$ -	4,235.00	\$ 6,352.50	
11. Grade Swales #D1, D2, D7.3A, D7.3B, D17, D24.2	SY	2,685	\$ 0.55	\$ 1,476.75		\$ -		\$ -	2,685.00	\$ 1,476.75	
12. Swale Matting (North American Green S-75)	SY	2,685	\$ 1.50	\$ 4,027.50		\$ -		\$ -	2,685.00	\$ 4,027.50	
13. Inlet Protection Silt Sack	EA	8	\$ 134.00	\$ 1,072.00		\$ -		\$ -	8.00	\$ 1,072.00	
14. Clean Water Pump Bypass, Sandbag Cofferdam	LS	1	\$ 12,000.00	\$ 12,000.00		\$ -		\$ -	1.00	\$ 12,000.00	

ESCROW STATUS REPORT

SUMMARY OF ESCROW ACCOUNT

RELEASE NO.: 9
RELEASE DATE: 10-Sep-2015

PROJECT NAME:	Firefox - Ph. 1 (Southern)	PHASE I	PHASE II	TOTAL
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TOWNSHIP NO.:	LD/S #630	CONTINGENCY (10%): \$ 238,045.74	\$ 157,305.24	\$ 395,350.98
DEVELOPER:	Crystal Road Enterprises, LLC	ESCROW POSTED: \$ 2,618,503.16	\$ 1,730,357.61	\$ 4,348,860.77
OWNER:	Firefox I, L.P.			
		TOTAL ENG/INSP/LEGAL (CASH ACCOUNT):	\$ 45,000.00	
MUNICIPALITY:	Montgomery Township	TOTAL ADMINISTRATION (CASH ACCOUNT):	\$ 5,000.00	
ESCROW AGENT:	Univest			
TYPE OF SECURITY:	Loan	PHASE I MAINTENANCE BOND AMOUNT (15%):	\$ 357,068.61	
AGREEMENT DATE:	10-Oct-2014	PHASE II MAINTENANCE BOND AMOUNT (15%):	\$ 235,957.86	

PHASE I	PHASE II	TOTAL
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ESCROW TABULATION					CURRENT RELEASE		RELEASED TO DATE		AVAILABLE FOR RELEASE		RELEASE REQ # 10
CONSTRUCTION ITEMS	UNITS	QUANTITY	UNIT PRICE	TOTAL AMOUNT	QUANTITY	TOTAL AMOUNT	QUANTITY	TOTAL AMOUNT	QUANTITY	TOTAL AMOUNT	QUANTITY
2.E. BOX CULVERT											
1. Box Culvert (incl. steel casing)	LS	1	\$ 151,965.00	\$ 151,965.00		\$ -		\$ -	1.00	\$ 151,965.00	
2.F. STORM SEWER											
1. 18" RCP	LF	1,136	\$ 35.00	\$ 39,760.00		\$ -		\$ -	1,136.00	\$ 39,760.00	
2. 24" RCP	LF	610	\$ 45.00	\$ 27,450.00		\$ -		\$ -	610.00	\$ 27,450.00	
6. Type M Inlets (#D17, D24.2)	EA	2	\$ 2,700.00	\$ 5,400.00		\$ -		\$ -	2.00	\$ 5,400.00	
7. Type C Inlets (#B2.2, B2.4, B3.2, C03, C04, D12.1, D12.2,	EA	16	\$ 2,700.00	\$ 43,200.00		\$ -		\$ -	16.00	\$ 43,200.00	
8. Type C Inlet Mod, 42"x48" (#B2.3, D13, D14.1, D16)	EA	4	\$ 3,400.00	\$ 13,600.00		\$ -		\$ -	4.00	\$ 13,600.00	
9. Type C Inlet Mod, 48" x 54" (#D24)	EA	1	\$ 3,600.00	\$ 3,600.00		\$ -		\$ -	1.00	\$ 3,600.00	
10. Storm Manhole 48" x 48" (#D12)	EA	1	\$ 3,400.00	\$ 3,400.00		\$ -		\$ -	1.00	\$ 3,400.00	
13. Infiltration Areas D1, D2 & D3 - Convert temp. swales D17 & D24.2 to trenches #1, 2, and 3 (incl. inlets and piping)	LS	1	\$ 69,287.00	\$ 69,287.00		\$ -		\$ -	1.00	\$ 69,287.00	
2.G. ROADWAY SITE											
1. Excavate & Backfill, Curb	LF	3,931	\$ 3.19	\$ 12,539.89		\$ -		\$ -	3,931.00	\$ 12,539.89	
2. Belgian Block Curb	LF	3,931	\$ 14.00	\$ 55,034.00		\$ -		\$ -	3,931.00	\$ 55,034.00	
3. Fine Grade and Compact Subgrade	SY	6,129	\$ 1.12	\$ 6,864.48		\$ -		\$ -	6,129.00	\$ 6,864.48	
4. 3" 2a Modified	SY	6,129	\$ 3.01	\$ 18,448.29		\$ -		\$ -	6,129.00	\$ 18,448.29	
5. 5" (25MM) Base Course	SY	6,129	\$ 19.00	\$ 116,451.00		\$ -		\$ -	6,129.00	\$ 116,451.00	
6. 1.5" (9.5MM) Wearing Paving	SY	6,129	\$ 7.12	\$ 43,638.48		\$ -		\$ -	6,129.00	\$ 43,638.48	
7. Speed Bump	LS	1	\$ 1,200.00	\$ 1,200.00		\$ -		\$ -	1.00	\$ 1,200.00	
8. Street Sweeping	SY	6,129	\$ 0.12	\$ 735.48		\$ -		\$ -	6,129.00	\$ 735.48	
9. Tack Coat	SY	6,129	\$ 0.19	\$ 1,164.51		\$ -		\$ -	6,129.00	\$ 1,164.51	
10. Curb & Joint Seal	LF	3,931	\$ 0.63	\$ 2,476.53		\$ -		\$ -	3,931.00	\$ 2,476.53	
11. Line Painting	LS	1	\$ 1,537.00	\$ 1,537.00		\$ -		\$ -	1.00	\$ 1,537.00	
12. Site Signage	LS	1	\$ 2,307.00	\$ 2,307.00		\$ -		\$ -	1.00	\$ 2,307.00	
13. Type 2S Guide Rail (Includes 1 Terminal Section)	LF	413	\$ 20.71	\$ 8,542.88		\$ -		\$ -	412.50	\$ 8,542.88	
14. Type 2S Guide Rail - Over Culvert	LF	38	\$ 164.00	\$ 6,150.00		\$ -		\$ -	37.50	\$ 6,150.00	
Driveway Relocation (NPWA)											
15. Fine Grade and Compact Subgrade	SY	178	\$ 1.12	\$ 199.36		\$ -		\$ -	178.00	\$ 199.36	
16. 3" 2a Modified	SY	178	\$ 3.01	\$ 535.78		\$ -		\$ -	178.00	\$ 535.78	
17. 5" (25MM) Base Course	SY	178	\$ 19.00	\$ 3,382.00		\$ -		\$ -	178.00	\$ 3,382.00	
18. 1.5" (9.5MM) Wearing Paving	SY	178	\$ 7.12	\$ 1,267.36		\$ -		\$ -	178.00	\$ 1,267.36	

ESCROW STATUS REPORT



Gilmore & Associates, Inc.
Engineering and Consulting Services

SUMMARY OF ESCROW ACCOUNT

RELEASE NO.: 9
RELEASE DATE: 10-Sep-2015

PROJECT NAME:	Firefox - Ph. 1 (Southern)	PHASE I	PHASE II	TOTAL
PROJECT NO.:	2012-09009	CONSTRUCTION: \$ 2,380,457.42	\$ 1,573,052.37	\$ 3,953,509.79
TOWNSHIP NO.:	LD/S #630	CONTINGENCY (10%): \$ 238,045.74	\$ 157,305.24	\$ 395,350.98
DEVELOPER:	Crystal Road Enterprises, LLC	ESCROW POSTED: \$ 2,618,503.16	\$ 1,730,357.61	\$ 4,348,860.77
OWNER:	Firefox I, L.P.			
		TOTAL ENG/INSP/LEGAL (CASH ACCOUNT):	\$ 45,000.00	
MUNICIPALITY:	Montgomery Township	TOTAL ADMINISTRATION (CASH ACCOUNT):	\$ 5,000.00	
ESCROW AGENT:	Univest			
TYPE OF SECURITY:	Loan	PHASE I MAINTENANCE BOND AMOUNT (15%):	\$ 357,068.61	
AGREEMENT DATE:	10-Oct-2014	PHASE II MAINTENANCE BOND AMOUNT (15%):	\$ 235,957.86	

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ESCROW TABULATION					CURRENT RELEASE		RELEASED TO DATE		AVAILABLE FOR RELEASE		RELEASE REQ # 10
CONSTRUCTION ITEMS	UNITS	QUANTITY	UNIT PRICE	TOTAL AMOUNT	QUANTITY	TOTAL AMOUNT	QUANTITY	TOTAL AMOUNT	QUANTITY	TOTAL AMOUNT	QUANTITY
2.H. <u>ONSITE SIDEWALKS</u>											
1. Sidewalk (4")	SF	11,158	\$ 8.00	\$ 89,264.00		\$ -		\$ -	11,158.00	\$ 89,264.00	
2. Driveway Apron (6" w/ wire mesh)	EA	58	\$ 1,100.00	\$ 63,800.00		\$ -		\$ -	58.00	\$ 63,800.00	
3. Handicap Ramps (incl. DWS)	EA	8	\$ 500.00	\$ 4,000.00		\$ -		\$ -	8.00	\$ 4,000.00	
2.I. <u>BITUMINOUS PATHWAYS</u>	SY	2,094	\$ 35.00	\$ 73,290.00		\$ -		\$ -	2,094.00	\$ 73,290.00	
2.J. <u>SWALE CONVERSION</u>											
1. Convert temp. swales D17 & D24.2 to trenches #1, 2, and 3	LS	1	\$ 69,287.00	\$ 69,287.00		\$ -		\$ -	1.00	\$ 69,287.00	
2.K. <u>STREET LIGHTS</u>											
1. Street Lights	EA	8	\$ 2,700.00	\$ 21,600.00		\$ -		\$ -	8.00	\$ 21,600.00	
2.L. <u>RESPREAD TOPSOIL (pads: 2"; landscaped areas: 8")</u>	LS	1	\$ 16,877.00	\$ 16,877.00		\$ -		\$ -	1.00	\$ 16,877.00	
2.M. <u>PEDESTRIAN BRIDGE (Parallel to Crystal Road)</u>	LS	1	\$ 31,476.00	\$ 31,476.00		\$ -		\$ -	1.00	\$ 31,476.00	
2.N. <u>LANDSCAPING</u>											
<i>Shade Trees</i>											
8. <i>Acer rubrum</i>	EA	37	\$ 350.00	\$ 12,950.00		\$ -		\$ -	37.00	\$ 12,950.00	
1. <i>Acer saccharum</i>	EA	6	\$ 350.00	\$ 2,100.00		\$ -		\$ -	6.00	\$ 2,100.00	
2. <i>Betula nigra</i>	EA	10	\$ 350.00	\$ 3,500.00		\$ -		\$ -	10.00	\$ 3,500.00	
9. <i>Ginkgo biloba sentry</i>	EA	3	\$ 355.00	\$ 1,065.00		\$ -		\$ -	3.00	\$ 1,065.00	
3. <i>Gleditsia T. Shademaster</i>	EA	30	\$ 350.00	\$ 10,500.00		\$ -		\$ -	30.00	\$ 10,500.00	
4. <i>Liquidambar styraciflua</i>	EA	26	\$ 350.00	\$ 9,100.00		\$ -		\$ -	26.00	\$ 9,100.00	
5. <i>Liriodendron tulipifera</i>	EA	28	\$ 350.00	\$ 9,800.00		\$ -		\$ -	28.00	\$ 9,800.00	
10. <i>Pyrus C. Chanticleer</i>	EA	22	\$ 350.00	\$ 7,700.00		\$ -		\$ -	22.00	\$ 7,700.00	
6. <i>Quercus borealis</i>	EA	14	\$ 360.00	\$ 5,040.00		\$ -		\$ -	14.00	\$ 5,040.00	
11. <i>Tilia cordata</i>	EA	25	\$ 350.00	\$ 8,750.00		\$ -		\$ -	25.00	\$ 8,750.00	
7. <i>Zelkova serrata</i>	EA	19	\$ 355.00	\$ 6,745.00		\$ -		\$ -	19.00	\$ 6,745.00	

ESCROW STATUS REPORT



Gilmore & Associates, Inc.
Engineering and Consulting Services

SUMMARY OF ESCROW ACCOUNT

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CONSTRUCTION ITEMS	UNITS	QUANTITY	UNIT PRICE	TOTAL AMOUNT	QUANTITY	TOTAL AMOUNT	QUANTITY	TOTAL AMOUNT	QUANTITY	TOTAL AMOUNT	QUANTITY
Evergreen Trees											
15. <i>Juniperus virginiana</i>	EA	31	\$ 250.00	\$ 7,750.00		\$ -		\$ -	31.00	\$ 7,750.00	
14. <i>Picea abies</i>	EA	29	\$ 250.00	\$ 7,250.00		\$ -		\$ -	29.00	\$ 7,250.00	
12. <i>Pinus strobus</i>	EA	32	\$ 250.00	\$ 8,000.00		\$ -		\$ -	32.00	\$ 8,000.00	
13. <i>Pseudotsuga menziesii</i>	EA	29	\$ 250.00	\$ 7,250.00		\$ -		\$ -	29.00	\$ 7,250.00	
Shrubs											
19. <i>Chamaecyparis F. Aurea</i>	EA	1	\$ 55.00	\$ 55.00		\$ -		\$ -	1.00	\$ 55.00	
17. <i>Cornus amomum</i>	EA	14	\$ 65.00	\$ 910.00		\$ -		\$ -	14.00	\$ 910.00	
16. <i>Euonymous A. Compacta</i>	EA	4	\$ 65.00	\$ 260.00		\$ -		\$ -	4.00	\$ 260.00	
20. <i>Ilex crenata hetzi</i>	EA	2	\$ 65.00	\$ 130.00		\$ -		\$ -	2.00	\$ 130.00	
21. <i>Thuja O. Emerald Green</i>	EA	2	\$ 80.00	\$ 160.00		\$ -		\$ -	2.00	\$ 160.00	
18. <i>Virburnum Plicatum</i>	EA	14	\$ 65.00	\$ 910.00		\$ -		\$ -	14.00	\$ 910.00	
2.O. <u>RESPREAD TOPSOIL (8")</u>	LS	1	\$ 30,000.00	\$ 30,000.00		\$ -		\$ -	1.00	\$ 30,000.00	
2.P. <u>OTHER</u>											
1. Construction Stakeout	LS	1	\$ 25,406.55	\$ 25,406.55		\$ -		\$ -	1.00	\$ 25,406.55	
2. Pins and Monuments and As-Builts	LS	1	\$ 8,843.00	\$ 8,843.00		\$ -		\$ -	1.00	\$ 8,843.00	
2.Q. <u>10% CONTINGENCY (Phase II)</u>		1	\$ 157,305.24	\$ 157,305.24		\$ -		\$ -	1.00	\$ 157,305.24	
(Released upon certification of final completion and receipt of Maintenance Bond)											

MONTGOMERY TOWNSHIP BOARD OF SUPERVISORS
BOARD ACTION SUMMARY

SUBJECT: Consider Payment of Bills for September 14, 2015

MEETING DATE: September 14, 2015 ITEM NUMBER: #17

MEETING/AGENDA: WORK SESSION ACTION XX NONE

REASON FOR CONSIDERATION: Operational: XX Information: Discussion: Policy:

INITIATED BY: Lawrence J. Gregan
Township Manager

BOARD LIAISON: Michael J. Fox, Chairman
of the Board of Supervisors

BACKGROUND:

Please find attached a list of the September 14, 2015 bills for your review.

ZONING, SUBDIVISION OR LAND DEVELOPMENT IMPACT:

None.

PREVIOUS BOARD ACTION:

None.

ALTERNATIVES/OPTIONS:

None.

BUDGET IMPACT:

None.

RECOMMENDATION:

Approval all bills as presented.

MOTION/RESOLUTION:

None.

DISTRIBUTION: Board of Supervisors, Frank R. Bartle, Esq.

Check Date	Bank	Check	Vendor	Vendor Name	Amount
Bank 01 UNIVEST CHECKING					
08/25/2015	01	61837	00001323	GLICK FIRE EQUIPMENT COMPANY INC	8,345.38
08/25/2015	01	61838	00902813	JOEDY JOHNSON	200.00
08/25/2015	01	61839	00902911	KIM P. GREENE	200.00
08/25/2015	01	61840	00000324	MOYER INDOOR / OUTDOOR	143.00
08/25/2015	01	61841	00001123	MYERS TIRE SUPPLY DISTRIBUTION, INC	319.28
08/26/2015	01	26845	00000967	DVHT	2,065.45
08/26/2015	01	26846	00000499	MONTGOMERY TWP. PROFESSIONAL	176.21
08/26/2015	01	26847	1264	MORGAN STANLEY SMITH BARNEY INC	5,940.18
08/28/2015	01	1(S)	00001852	G.L. SAYRE, INC.	0.00
09/03/2015	01	61842	00905040	3M COGENT INC.	128.75
09/03/2015	01	61843	00000006	ACME UNIFORMS FOR INDUSTRY	28.20
09/03/2015	01	61844	00000561	ATLANTIC TACTICAL	354.20
09/03/2015	01	61845	00001225	MONTGOMERY TOWNSHIP MUNICIPAL	92.70
09/03/2015	01	61846	00001987	PACIFIC INTERPRETERS, INC	49.30
09/03/2015	01	61847	00000397	PECO ENERGY	5,460.08
09/03/2015	01	61848	00000345	PRINTWORKS & COMPANY, INC.	98.00
09/03/2015	01	61849	00002033	REPUBLIC SERVICES NO. 320	1,069.34
09/03/2015	01	61850	00001146	RESERVE ACCOUNT	1,500.00
09/03/2015	01	61851	00001394	STANDARD INSURANCE COMPANY	7,529.57
09/03/2015	01	61852	00000040	VERIZON	170.87
09/03/2015	01	61853	00000038	VERIZON WIRELESS SERVICES, LLC	480.16
09/03/2015	01	61854	00001329	WELDON AUTO PARTS	179.98
09/03/2015	01	61855	00000748	E.R. STUEBNER INC.	242,892.67
09/11/2015	01	61856	00000006	ACME UNIFORMS FOR INDUSTRY	84.48
09/11/2015	01	61857	00000340	ADVENT SECURITY CORPORATION	188.79
09/11/2015	01	61858	00000820	AMPRO	2,540.00
09/11/2015	01	61859	MISC-REC	AMY MICHENER	25.00
09/11/2015	01	61860	MISC-REC	ANGIE GREANEY	29.00
09/11/2015	01	61861	00906091	ARISTA POOL AND SPA, INC.	1,200.00
09/11/2015	01	61862	00002061	AT&T MOBILITY	439.30
09/11/2015	01	61863	00000561	ATLANTIC TACTICAL	300.40
09/11/2015	01	61864	00001997	AUTOMATIC SYNC TECHNOLOGIES, LLC	184.80
09/11/2015	01	61865	MISC-REC	BANDITA DAHAL	301.00
09/11/2015	01	61866	00000999	BCG-BENEFIT CONSULTANTS GROUP	1,778.00
09/11/2015	01	61867	MISC-REC	BETH MCADOO	6.00
09/11/2015	01	61868	00001717	BETHLEHEM PRE-CAST, INC.	210.00
09/11/2015	01	61869	MISC-BL	BONNIE J. BRITT	52.00
09/11/2015	01	61870	00906088	BORNEMAN REMODELING	179.00
09/11/2015	01	61871	00000209	BOUCHER & JAMES, INC.	11,215.33
09/11/2015	01	61872	00000069	C L WEBER CO INC.	418.70
09/11/2015	01	61873	00000069	C L WEBER CO INC.	47.32
09/11/2015	01	61874	MISC-BL	CASSANDRA WITNER	52.00
09/11/2015	01	61875	MISC-REC	CATHY MCCAFFERY	28.00
09/11/2015	01	61876	00001601	CDW GOVERNMENT, INC.	37.52
09/11/2015	01	61877	00001601	CDW GOVERNMENT, INC.	126.70
09/11/2015	01	61878	00000181	CHEMSEARCH	512.19
09/11/2015	01	61879	MISC-REC	CHRIS PIECHOSKI	20.00
09/11/2015	01	61880	MISC-REC	CINDY BROWN	6.00
09/11/2015	01	61881	MISC-REC	CINDY MOYER	10.00
09/11/2015	01	61882	00000363	COMCAST	184.71
09/11/2015	01	61883	MISC-REC	CRYSTAL GRAHAM	40.00
09/11/2015	01	61884	00000548	CWR ELECTRONICS INC.	98.93
09/11/2015	01	61885	00000118	DEL-VAL INTERNATIONAL TRUCKS, INC.	90.00
09/11/2015	01	61886	MISC-REC	DIANE BARDI	10.00
09/11/2015	01	61887	MISC-BL	DONNA RADEZKY	52.00
09/11/2015	01	61888	00000092	E.M. KUTZ, INC.	288.00
09/11/2015	01	61889	00002082	ECOMM TECHNOLOGIES	919.47
09/11/2015	01	61890	00903110	ESTABLISHED TRAFFIC CONTROL	30.00
09/11/2015	01	61891	00000161	EUREKA STONE QUARRY, INC.	412.78
09/11/2015	01	61892	00000171	FAST SIGNS	367.50
09/11/2015	01	61893	MISC-REC	FELICIA MYERS	6.00
09/11/2015	01	61894	MISC-REC	GAUTANI JOGLEKAR	5.00
09/11/2015	01	61895	00000219	GLOBAL EQUIPMENT COMPANY	32.27
09/11/2015	01	61896	00000229	GRAINGER	5.73
09/11/2015	01	61897	00000223	GUIDEMARK, INC.	9,047.30
09/11/2015	01	61898	00000114	HARLEYSVILLE MATERIALS, LLC	73.30
09/11/2015	01	61899	00000215	HAVIS, INC.	69.00
09/11/2015	01	61900	MISC-REC	HOLLY ZACHARD	20.00
09/11/2015	01	61901	00000903	HOME DEPOT CREDIT SERVICES	1,441.71
09/11/2015	01	61902	00000903	VOID	0.00
09/11/2015	01	61903	00902672	HORIZON SIGNS LLC	250.00
09/11/2015	01	61904	MISC-BL	JANE BRENNAN	52.00
09/11/2015	01	61905	MISC-REC	JENNIFER MERCADO	10.00
09/11/2015	01	61906	MISC-REC	JOY LIPKA	38.00
09/11/2015	01	61907	00003050	KATHI NEAL	136.00
09/11/2015	01	61908	MISC-REC	KATHIE PARISI	30.00
09/11/2015	01	61909	MISC-REC	KIMBERLY FISHER	6.00
09/11/2015	01	61910	00002098	KIMBERLY SEIDEL	902.40

Check Date	Bank	Check	Vendor	Vendor Name	Amount
09/11/2015	01	61911	MISC-REC	LARISA STASIUK	6.00
09/11/2015	01	61912	00000201	LAWRENCE J. MURPHY	1,773.74
09/11/2015	01	61913	00000738	LENNI ELECTRIC CORP	68,426.81
09/11/2015	01	61914	00000738	LENNI ELECTRIC CORP	48,087.74
09/11/2015	01	61915	00003009	LIFE FITNESS	824.94
09/11/2015	01	61916	MISC-REC	LINDA SHIFRIN	20.00
09/11/2015	01	61917	MISC-REC	LINDO IZZILLO	5.00
09/11/2015	01	61918	00000284	LIZELL OFFICE FURNITURE	54,026.00
09/11/2015	01	61919	00000689	MARY KAY KELM, ESQUIRE	712.50
09/11/2015	01	61920	00000743	MES - PENNSYLVANIA	369.00
09/11/2015	01	61921	MISC-REC	MICHELE CHWASTIAK	5.00
09/11/2015	01	61922	MISC-REC	MICHELE HOLLENBACH	100.00
09/11/2015	01	61923	MISC-REC	MONIQUE BENDER	5.00
09/11/2015	01	61924	00000326	MONTGOMERY COUNTY	47.76
09/11/2015	01	61925	00000324	MOYER INDOOR / OUTDOOR	132.00
09/11/2015	01	61926	MISC-REC	NICHOLE MONAGHAN	8.00
09/11/2015	01	61927	MISC-REC	NICOLE WEIDENHAMMER	5.00
09/11/2015	01	61928	00001134	OFFICE DEPOT, INC	339.11
09/11/2015	01	61929	00906095	PANDE PARAG & KULKARNI SHRUTI	19.17
09/11/2015	01	61930	MISC-REC	PATRICIA MCCAULLEY	12.00
09/11/2015	01	61931	MISC-REC	PATSY BELTON	7.00
09/11/2015	01	61932	00000397	PECO ENERGY	16.98
09/11/2015	01	61933	00000397	PECO ENERGY	86.62
09/11/2015	01	61934	00000595	PENN VALLEY CHEMICAL COMPANY	2,424.11
09/11/2015	01	61935	00906108	PEP BOYS	2.99
09/11/2015	01	61936	00002025	PET DINER, THE	203.37
09/11/2015	01	61937	00000009	PETTY CASH	500.00
09/11/2015	01	61938	00000447	PETTY CASH - POLICE	221.68
09/11/2015	01	61939	00000345	PRINTWORKS & COMPANY, INC.	277.82
09/11/2015	01	61940	00906094	PRUE MICHAEL	34.07
09/11/2015	01	61941	00000362	RAIN-FLO IRRIGATION LLC	179.59
09/11/2015	01	61942	00906102	READY REFRESH	190.70
09/11/2015	01	61943	MISC-REC	ROBIN BOEHNING	6.00
09/11/2015	01	61944	00000452	S&S WORLDWIDE	1,153.03
09/11/2015	01	61945	MISC-REC	SANDY MARKLEY	5.00
09/11/2015	01	61946	00000653	SCATTON'S HEATING & COOLING, INC.	1,366.81
09/11/2015	01	61947	00001618	SEALMASTER	911.92
09/11/2015	01	61948	00000465	SHAPIRO FIRE PROTECTION COMPANY	402.10
09/11/2015	01	61949	00000465	SHAPIRO FIRE PROTECTION COMPANY	94.80
09/11/2015	01	61950	00001030	SIGNAL CONTROL PRODUCTS, INC.	575.00
09/11/2015	01	61951	00000015	SPRINT	417.77
09/11/2015	01	61952	00001847	STAPLES CONTRACT & COMMERCIAL, INC.	193.97
09/11/2015	01	61953	MISC-REC	SUE BREWSTER	1.00
09/11/2015	01	61954	00906093	SUSTEVE LLC	103.10
09/11/2015	01	61955	00001200	SYNATEK	2,596.64
09/11/2015	01	61956	MISC-REC	TARIK HALL	5.00
09/11/2015	01	61957	MISC-REC	THERESA EICHNER	6.00
09/11/2015	01	61958	00001771	TIMAC AGRO USA	69.00
09/11/2015	01	61959	00002031	TRI-COUNTY ELECTRICAL SUPPLY	312.50
09/11/2015	01	61960	00002062	UNITED ELECTRIC SUPPLY CO., INC.	34.86
09/11/2015	01	61961	00000040	VERIZON	37.53
09/11/2015	01	61962	00000040	VERIZON	95.35
09/11/2015	01	61963	00000040	VERIZON	238.83
09/11/2015	01	61964	00000040	VERIZON	136.15
09/11/2015	01	61965	00001033	VERIZON CABS	556.36
09/11/2015	01	61966	00000170	VERIZON COMMUNICATIONS, INC.	124.99
09/11/2015	01	61967	00000038	VERIZON WIRELESS SERVICES, LLC	850.98
09/11/2015	01	61968	MISC-REC	VIRGINIA BAILEY	18.00
09/11/2015	01	61969	00005555	VISA	1,875.54
09/11/2015	01	61970	00005555	VISA	670.01
09/11/2015	01	61971	00005555	VISA	149.00
09/11/2015	01	61972	00906002	WALTON INC.	1,199.93
09/11/2015	01	61973	00001329	WELDON AUTO PARTS	891.53
09/11/2015	01	61974	00000632	WEST GENERATOR SERVICES INC.	345.05
09/11/2015	01	61975	00906106	XEROX BUSINESS SERVICES LLC	3,194.54
09/11/2015	01	61976	MISC-REC	XIGNAN WANG	5.00
09/11/2015	01	61977	MISC-REC	YANPING GUO	24.00
09/11/2015	01	61978	00000590	YOCUM FORD	892.25

01 TOTALS:

(1 Check Voided)

Total of 145 Disbursements:

510,662.19

- FUND ACCOUNTING

DATE: 09/11/15

TIME: 14:02:46

MONTGOMERY TOWNSHIP
CHECK REGISTER - DISBURSEMENT FUND

PAGE NUMBER: 1

ACCTPA21

SELECTION CRITERIA: transact.yr='15' and transact.check_no like '2%' and transact.ck_date>MDY(8,24,2015)
ACCOUNTING PERIOD: 8/15

FUND - 01 - GENERAL

CASH ACCT	CHECK NO	ISSUE DT	-----VENDOR-----	FUND/ORG	-----DESCRIPTION-----	SALES TAX	AMOUNT
1161	26845	08/26/15	00000967 DVHT	01	DED:8065 DVHIT	0.00	221.33
1161	26845	08/26/15	00000967 DVHT	01	DED:8066 DVHIT	0.00	1844.12
TOTAL CHECK						0.00	2065.45
1161	26846	08/26/15	00000499 MONTGOMERY TWP. PROFESSI	01	DED:7101 IAFF DUES	0.00	176.21
1161	26847	08/26/15	1264 MORGAN STANLEY SMITH BAR	01	DED:7000 POLICE PEN	0.00	5940.18
1161	26871	09/10/15	650 HAB-EIT	01	DED:6105 WAGE ATCH	0.00	34.38
1161	26872	09/10/15	00000499 MONTGOMERY TWP. PROFESSI	01	DED:7101 IAFF DUES	0.00	189.21
1161	26873	09/10/15	1264 MORGAN STANLEY SMITH BAR	01	DED:7000 POLICE PEN	0.00	6059.26
TOTAL CASH ACCOUNT						0.00	14464.69
TOTAL FUND						0.00	14464.69
TOTAL REPORT						0.00	14464.69

MONTGOMERY TOWNSHIP ELECTRONIC PAYROLL TAX PAYMENTS

<u>DATE</u>	<u>VENDOR NAME</u>	<u>REASON FOR PAYMENT</u>	<u>AMOUNT</u>
08/27/2015	IRS	941 Payment	\$77,641.84
08/27/2015	BCG	401/457 Plan Payment	\$23,698.80
08/27/2015	PA-SCDU	Withholding Payment	\$2,817.28
09/01/2015	IRS	945 Payment	\$5,085.26
09/01/2015	ICMA	DROP Plan Payment	\$17,827.41
09/02/2015	Commonwealth of PA	State Tax Payment	\$8,267.42
09/09/2015	City of Philadelphia	Aug Wage Tax Payment	\$287.19
09/10/2015	IRS	941 Payment	\$85,010.14
09/10/2015	BCG	401/457 Payment	\$23,951.46
09/10/2015	PA-SCDU	Withholding Payment	\$2,817.28
Total Paid as of 09/14/2015			\$247,404.08